# 6/4 615 SP324720 SP324720 2 Tier Retaining Wall Min Height: 3.0m Max Height: 3.0m Average Height: 3.0m 336 SP322364 PROPOSED LOT PROPOSED 335 LOTSP322364 1102 420m 334 SP322364

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1101

Details of Proposed Lot 1101 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

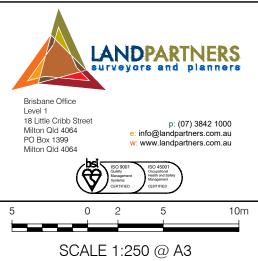
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD			
	LEVEL ORIGIN	PSM16	5225 RL	38.006	
	COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
	SCALE	1:250 (A3)			
	DRAWN KDN	Л	DATE	18/07/2024	
	CHECKED MEA	Ą	DATE	18/07/2024	
	APPROVED RGA	4	DATE	18/07/2024	
П					

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# 615 616 SP324720 SP324720 2 Tier Retaining Wall Min Height: 3.0m 614 Max Height: 3.0m Average Height: 3.0m SP324720 PROPOSED LOT 1102 PROPOSED LOT 1103 375m **PROPOSED** LOT1101 HANN STREET (PROPOSED NEW ROAD)

DISCLOSURE PLAN FOR PROPOSED LOT 1102

This plan show

Details of Proposed Lot 1102 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

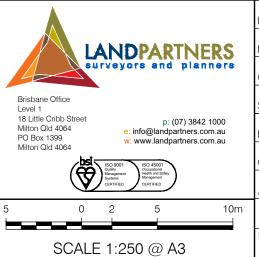
## PEBBLE CREEK STAGE 11

Client:

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



\_EVEL DATUM AHD EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

UDN BRSS7455 - 011 - 006 - 1

<u>Items included in this section are in addition to standard Disclosure Plan requirements</u> (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL):

• 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

# 616 617 SP324720 2 Tier Retaining Wall SP324720 Min Height: 3.0m Max Height: 3.0m 615 Average Height: 3.0m SP324720 PROPOSED **PROPOSED** LOT 1104 PROPOSED LOT 1102 HANN STREET (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as:

#### NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1103

This plan shov

Details of Proposed Lot 1103 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: -48.25

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

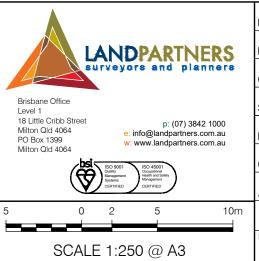
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

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# 617 SP324720 618 2 Tier Retaining Wall SP324720 Min Height: 3.0m Max Height: 3.0m 616 Average Height: 3.0m SP324720 PROPOSED LOT 1104 **PROPOSED** LOT 1105 375m<sup>2</sup> PROPOSED LOT 1103 HANN STREET (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:

#### NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1104

This plan shov

Details of Proposed Lot 1104 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.4m to 2.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

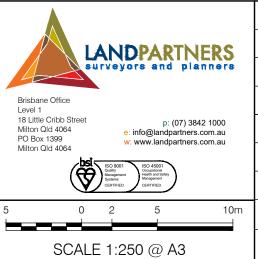
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	
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# 618 619 SP324720 2 Tier Retaining Wall SP324720 Min Height: 3.0m Max Height: 3.0m 617 SP324720 PROPOSED LOT 1105-1.75-PROPOSED LOT 1106 375m2-15-0 PROPOSED LOT 1104 HANN STREET (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

## DISCLOSURE PLAN FOR PROPOSED LOT 1105

This plan show

Details of Proposed Lot 1105 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.5m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

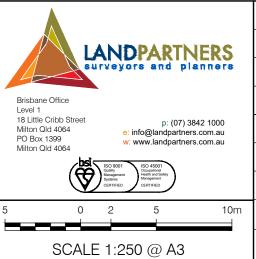
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE BR		BRSS7455-011-4-1	
SCALE	1:250 (	1:250 (A3)	
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA		DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024

UDN BRSS7455 - 011 - 009 - 1

## 619 SP324720 2 Tier Retaining Wall Min Height: 3.0m This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 622 Max Height: 3.0m 618 Average Height: 3.0m SP324720 SP324720 Retaining Wal Min Height: 1.4m shown as: ——48.25—— Max Height: 1.4m Average Height: 1.4m Retaining Walls are shown as: drawn to scale **PROPOSED** 623 SP324720 420m2 **PROPOSED** LOT 624 1105 SP324720 Emt C SP324720 PROPOSED **EASEMENT** Project: HANN STREET (PROPOSED NEW ROAD) LOCALITY DIAGRAM NOT TO SCALE Brisbane Office 18 Little Cribb Street PO Box 1399 Items included in this section are in addition to standard Disclosure Plan requirements Milton Qld 4064 (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL) • 36.80 representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

Fasements are shown as

## DISCLOSURE PLAN FOR PROPOSED LOT 1106

Details of Proposed Lot 1106 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

The locations of the retaining walls shown are indicative from design and not

Area of Fill shown as:

Fill ranges in depth from 0.6m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

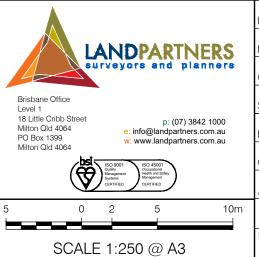
shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

## **PEBBLE CREEK** STAGE 11

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

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# HANN STREET (PROPOSED NEW ROAD) **PROPOSED** 625 397m<sup>2</sup> SP324720 LOT STRETT 1107 HAUGHTON ; PROPOSED LOT 1108

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1107

Details of Proposed Lot 1107 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not

drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:

## **PEBBLE CREEK** STAGE 11

OCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

(07) 3842 1001

: info@landpartners.com.a w: www.landpartners.com.a

10m

EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-3 1:250 (A3) SCALE 08/10/2024 DRAWN KDM DATE CHECKED LPL DATE 08/10/2024 DATE 08/10/2024 APPROVED RGA

AHD

\_EVEL DATUM

BRSS7455 - 011 - 011 - 3

## PROPOSED LOT 1107 28.0 625 HAUGHTON STRETT (PROPOSED NEW ROAD) SP324720 **PROPOSED** 294m² LOT 1108 Retaining Wall Min Height: 0.2m Max Height: 0.6m Average Height: 0.4m PROPOSED LOT 1109

## Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1108

Details of Proposed Lot 1108 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

Milton OLD 4064

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



OLD 4064

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SCALE 1:250 @ A3

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: info@landpartners.com.a w: www.landpartners.com.

10m

COMPUTER FILE BRSS7455-011-4-2 1:250 (A3) SCALE 22/08/2024 DRAWN KDM DATE CHECKED RGA DATE 22/08/2024 APPROVED RGA DATE 22/08/2024

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AHD

\_EVEL DATUM

EVEL ORIGIN

BRSS7455 - 011 - 012 - 2

## 625 SP324720 PROPOSED LOT Min Height: 0.2m 1108 Max Height: 0.6m Average Height: 0.4m HAUGHTON STRETT (PROPOSED NEW ROAD) **PROPOSED** LOT 1109 Retaining Wall Min Height: 0.0m Max Height: 0.5m 1023 Average Height: 0.3m SP337713 PROPOSED LOT 1110

## DISCLOSURE PLAN FOR PROPOSED LOT 1109

Details of Proposed Lot 1109 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not

drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

Brisbane Office Level 1 18 Little Cribb Street

Milton OLD 4064

LOCALITY DIAGRAM NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

\_EVEL DATUM

EVEL ORIGIN



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p: (07) 3842 1000 PO Box 1399 (07) 3842 1001 OLD 4064

: info@landpartners.com. w: www.landpartners.com. 10m

COMPUTER FILE BRSS7455-011-4-2 1:250 (A3) CALE 22/08/2024 DRAWN KDM DATE CHECKED RGA DATE 22/08/2024 APPROVED RGA DATE 22/08/2024

PSM165225 RL38.006

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SCALE 1:250 @ A3

BRSS7455 - 011 - 013 - 2

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL):

• 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

## **PROPOSED** LOT Min Height: 0.0m 1109 Max Height: 0.5m Average Height: 0.3m 99°15' *28.0* HAUGHTON STRETT (PROPOSED NEW ROAD) 1023 SP337713 **PROPOSED** 294m² LOT 1110 nanthat FillisED ////

DISCLOSURE PLAN FOR PROPOSED LOT 1110

Details of Proposed Lot 1110 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

\_EVEL DATUM



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(07) 3842 1001

: info@landpartners.com.

10m

EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-2 1:250 (A3) SCALE 22/08/2024 DRAWN KDM DATE CHECKED RGA DATE 22/08/2024 APPROVED RGA DATE 22/08/2024

AHD

BRSS7455 - 011 - 014 - 2

Brisbane Office Level 1 18 Little Cribb Street PO Box 1399 OLD 4064 Milton OLD 4064 w: www.landpartners.com.a 0 2 SCALE 1:250 @ A3

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

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## PROPOSED LOT 1110 HAUGHTON STRET 99015, 1023 Depth of Fill: 383m<sup>2</sup>N/A SP337713 **PROPOSED** LOT Min Height: 0.7m Max Height: 0.8m 1111 Average Height: 0.8m COEN ROAD (PROPOSED NEW ROAD)

## DISCLOSURE PLAN FOR PROPOSED LOT 1111

Details of Proposed Lot 1111 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

Brisbane Office Level 1 18 Little Cribb Street

Milton OLD 4064

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

\_EVEL DATUM

EVEL ORIGIN



p: (07) 3842 1000 (07) 3842 1001 : info@landpartners.com.a w: www.landpartners.com.

COMPUTER FILE BRSS7455-011-4-2 1:250 (A3) SCALE 22/08/2024 DRAWN KDM DATE CHECKED RGA DATE 22/08/2024 APPROVED RGA DATE 22/08/2024

PSM165225 RL38.006

AHD

0 2 10m SCALE 1:250 @ A3 BRSS7455 - 011 - 015 - 2

PO Box 1399

OLD 4064

Items included in this section are in addition to standard Disclosure Plan requirements

(as defined in the Land Sales Act 1984)

Finished Surface Levels (FSL):

Where applicable,

Fasements are shown as

• 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

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## 1022 SP337713 **PROPOSED** LOT 1112 420m² PROPOSED 1021 LOT SP3377/3 1113 1020 13.989 279°15' SP337713 Retaining Wall Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m **PROPOSED PROPOSED** LOTLOT //33 //34 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. Fasements are shown as

## DISCLOSURE PLAN FOR PROPOSED LOT 1112

Details of Proposed Lot 1112 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

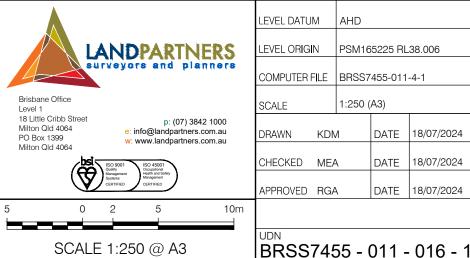
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM AHD EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024

DATE

APPROVED RGA

18/07/2024

## 99°15′ PROPOSED LOT 1113 PROPOSED LOT1112 375m2 **PROPOSED** LOT1114 Retaining Wall Min Height: 2.5m **PROPOSED** Max Height: 2.5m Average Height: 2.5m LOT//34 **PROPOSED PROPOSED** LOT LOT 1132 //33 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

Fasements are shown as

## **DISCLOSURE PLAN FOR PROPOSED LOT 1113**

This plan shows

Details of Proposed Lot 1113 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not

drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

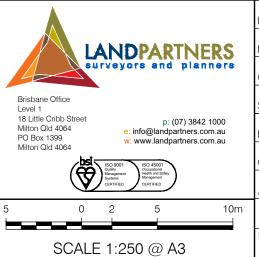
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM		AHD			
	LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7455-011-4-1			
	SCALE	1:250 (A3)			
	DRAWN KDN	И	DATE	18/07/2024	
	CHECKED MEA	4	DATE	18/07/2024	
	APPROVED RGA	4	DATE	18/07/2024	

BRSS7455 - 011 - 017 - 1

## COEN ROAD (PROPOSED NEW ROAD) 99°15′ **PROPOSED** LOT PROPOSED LOT 420m2 **PROPOSED** LOT1115 14.0 279°15' Retaining Wall Min Height: 2.5m PROPOSED Max Height: 2.5m LOT Average Height: 2.5m //33 PROPOSED **PROPOSED** LOT LOT //3/ 1132

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1114

Details of Proposed Lot 1114 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

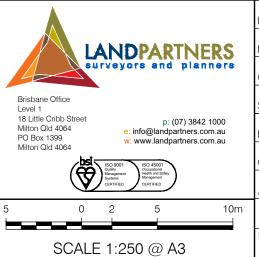
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 018 - 1

## 48.5 -**PROPOSED** LOT 1115 **PROPOSED** LOT 1/14 375m2 **PROPOSED** LOT 1116 49.25 12.5 279°15' Retaining Wall Min Height: 2.5m Max Height: 2.5m PROPOSED Average Height: 2.5m LOT 1132 PROPOSED **PROPOSED** LOT LOT 1131 1130 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. Fasements are shown as

## DISCLOSURE PLAN FOR PROPOSED LOT 1115

Details of Proposed Lot 1115 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

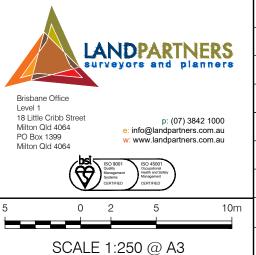
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024

DATE APPROVED RGA 18/07/2024

|BRSS7455 - 011 - 019 - 1

## (PROPOSED NEW ROAD) PROPOSED LÓT **PROPOSED** LOT 375m2 1115 **PROPOSED** LOT 1117 12.5 279°15' Retaining Wall Min Height: 2.5m PROPOSED Max Height: 2.5m Average Height: 2.5m LOT //3/ PROPOSED **PROPOSED** LOT LOT 1130 1129 Items included in this section are in addition to standard Disclosure Plan requirements

DISCLOSURE PLAN FOR PROPOSED LOT 1116

Details of Proposed Lot 1116 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

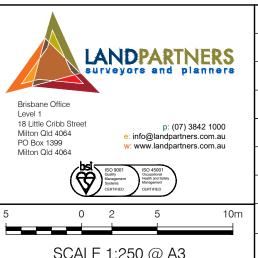
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM AHD EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

|BRSS7455 - 011 - 020 - 1

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

• 36.80

(as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

Fasements are shown as

SCALE 1:250 @ A3

## COEN ROAD (PROPOSED NEW ROAD) 99015, **PROPOSED** LOT 47.25 **PROPOSED** LOT 1116 **PROPOSED** LOT 1118 12.5 279°15' Retaining Wall Min Height: 2.5m PROPOSED Max Height: 2.5m Average Height: 2.5m LOT 1130 **PROPOSED** PROPOSED LOT LOT 1129 1128 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. Fasements are shown as

## DISCLOSURE PLAN FOR PROPOSED LOT 1117

This plan shows

Details of Proposed Lot 1117 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

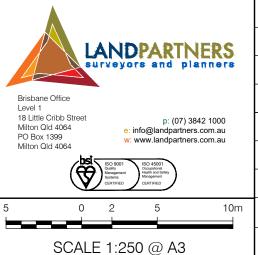
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7	BRSS7455-011-4-1	
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA	4	DATE	18/07/2024

UDN BRSS7455 - 011 - 021 - 1

APPROVED RGA

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DATE 18/07/2024

## COEN ROAD (PROPOSED NEW ROAD) **PROPOSED** 48.25. LOT 1118 PROPOSED LOT 375m² 1117 PROPOSED LOT 1119 Min Height: 1.7m PROPOSED Max Height: 1.7m Average Height: 1.7m LOT 1129 **PROPOSED** PROPOSED LOT LOT 1128 1127

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1118

Details of Proposed Lot 1118 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

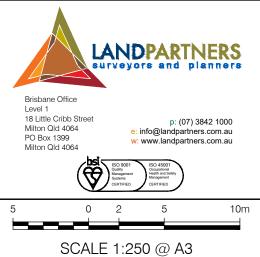
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7	BRSS7455-011-4-1	
SCALE	1:250 (	1:250 (A3)	
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA	4	DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024

|BRSS7455 - 011 - 022 - 1

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## **PROPOSED** LOT 1119 46.25 \_\_ **PROPOSED** LOT 375m2 1118 **PROPOSED** LOT 1120 Retaining Wall Min Height: 1.7m PROPOSED Max Height: 1.7m Average Height: 1.7m LOT 1128 **PROPOSED** PROPOSED LOT LOT 1127 1126 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

Fasements are shown as

## DISCLOSURE PLAN FOR PROPOSED LOT 1119

This plan shows

Details of Proposed Lot 1119 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: —48.25—
.....

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

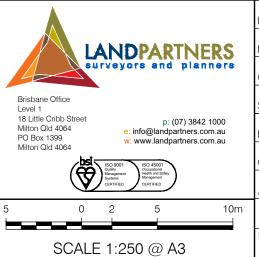
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM		AHD			
	LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7455-011-4-1			
	SCALE	1:250 (A3)			
	DRAWN KDN	И	DATE	18/07/2024	
	CHECKED MEA	4	DATE	18/07/2024	
	APPROVED RGA	4	DATE	18/07/2024	

UDN BRSS7455 - 011 - 023 - 1

## COEN ROAD (PROPOSED NEW ROAD) **PROPOSED** LOT **PROPOSED** LOT 1120 1121 PROPOSED LOT 375m<sup>2</sup> 1119 PROPOSED LOT 1122 Retaining Wall Min Height: 1.3m **PROPOSED** PROPOSED Max Height: 1.3m LOT Average Height: 1.3m LOT 1123 1127 PROPOSED 10T 1126 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable,

site after completion of construction.

Finished Surface Levels (FSL):

Fasements are shown as

• 36.80

This additional information is indicative only, has been taken from various sources and is a

representation of the proposed infrastructure. The actual location should be checked on

## DISCLOSURE PLAN FOR PROPOSED LOT 1120

This plan shows

Details of Proposed Lot 1120 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

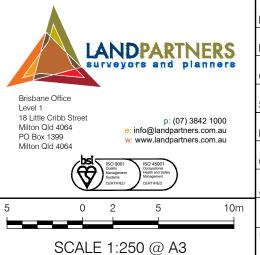
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	١	DATE	18/07/2024	

UDN BRSS7455 - 011 - 024 - 1

## (PROPOSED NEW ROAD) Min Height: 0.8m Max Height: 1.4m Average Height: 1.1m PROPOSED LOT**PROPOSED** 1120 383m<sup>2</sup> - 46.25 <u>-</u> LOT 1121 EMBLEY STREE **PROPOSED** LOT 1122

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

LOCALITY DIAGRAM NOT TO SCALE

#### DISCLOSURE PLAN FOR PROPOSED LOT 1121

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Details of Proposed Lot 1121 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to Less than 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

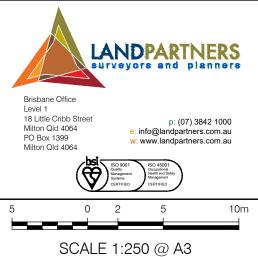
Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD	AHD		
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
SCALE	1:250 (A3)			
DRAWN KDN	Λ	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 025 - 1

## **PROPOSED** LOT 1121 PROPOSED LOT EMBLEY STREET (PROPOSED NEW ROAD) 1120 **PROPOSED** 294m² LOT 1122 PROPOSED LOT1123

## Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

NOT TO SCALE

LOCALITY DIAGRAM

#### DISCLOSURE PLAN FOR PROPOSED LOT 1122

Details of Proposed Lot 1122 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

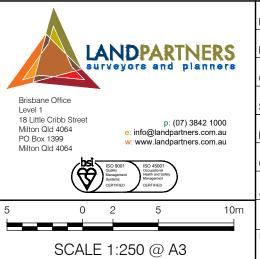
Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	455-011	-4-1	
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 026 - 1

## PROPOSED **PROPOSED** LOT LOT 1122 1120 99°15' EMBLEY STREET (PROPOSED NEWROAD) 294m² **PROPOSED** LOT 1123 PROPOSED LOT 1126 PROPOSED LOT 1124

## Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

• 36.80

Where applicable,

Finished Surface Levels (FSL):

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1123

Details of Proposed Lot 1123 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

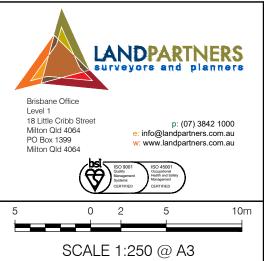
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL BATOW	AIID			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

BRSS7455 - 011 - 027 - 1

## **PROPOSED** LOT 1123 99015 PROPOSED LOT EMBLEY STREET (PROPOSED NEW ROAD) 1126 **PROPOSED** $294m^{2}$ LOT 1124 PROPOSED LOT 1125

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

OCALITY DIAGRAM

NOT TO SCALE

#### DISCLOSURE PLAN FOR PROPOSED LOT 1124

Details of Proposed Lot 1124 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

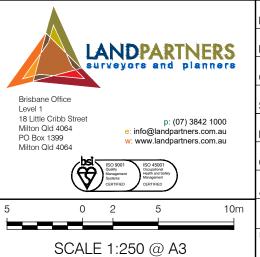
Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA	4	DATE	18/07/2024
APPROVED RGA	۸	DATE	18/07/2024

|BRSS7455 - 011 - 028 - 1

# **PROPOSED** LOT 1124 **PROPOSED** LOT EMBLEY STREE] 1126 397m<sup>2</sup> PROPOSED LOT 1125 BOOMI AVENUE (PROPOSED NEW ROAD)

#### Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

## DISCLOSURE PLAN FOR PROPOSED LOT 1125

Details of Proposed Lot 1125 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

This lot requires no fill.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

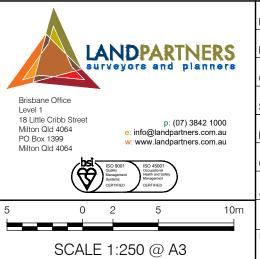
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
	4.050 (4.0)			
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA		DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

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## **PROPOSED** LOT **PROPOSED** 1119 LOT1120 **PROPOSED** LOT 1123 Min Height: 1.3m Max Height: 1.3m Average Height: 1.3m **PROPOSED** PROPOSED LOT LOT 1124 1127 375m<sup>2</sup> **PROPOSED** LOT **PROPOSED** 1126 LOT 1125 BOOMI AVENUE (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

• 36.80

Where applicable,

Finished Surface Levels (FSL):

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

# LOCALITY DIAGRAM NOT TO SCALE

#### DISCLOSURE PLAN FOR PROPOSED LOT 1126

Details of Proposed Lot 1126 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not

drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

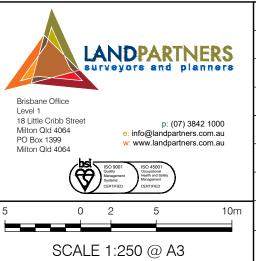
Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD		
	LEVEL ORIGIN	PSM16	5225 RL	38.006
	COMPUTER FILE	BRSS7	455-011	-4-1
	SCALE	1:250 (A3)		
	00/122			
	DRAWN KDN	Л	DATE	18/07/2024
	CHECKED MEA	4	DATE	18/07/2024
	APPROVED RGA	4	DATE	18/07/2024
Π				

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# PROPOSED LOT **PROPOSED** 1118 LOTPROPOSED 1119 LOT 1120 Min Height: 1.7m Max Height: 1.7m Average Height: 1.7m PROPOSED LOT1128 375m<sup>2</sup> **PROPOSED PROPOSED** LOT 1126 LOT 1127 BOOMI AVENUE (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

## DISCLOSURE PLAN FOR PROPOSED LOT 1127

Details of Proposed Lot 1127 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

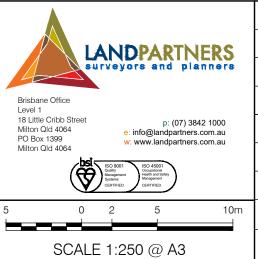
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ODIOIN	DOMAG	PSM165225 RL38.006		
LEVEL ORIGIN	PSMT6	5225 RL	38.006	
COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA		DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	
			·	

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## **PROPOSED** LOT**PROPOSED** 1117 LOT **PROPOSED** 1118 LOT 1119 Retaining Wall Min Height: 1.7m Max Height: 1.7m Average Height: 1.7m PROPOSED LOT 1129 375m<sup>2</sup> **PROPOSED** LOT1127 45.75 **PROPOSED** 45.25 LOT 1128 BOOMI AVENUE (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL):

• 36.80

rep site

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

## DISCLOSURE PLAN FOR PROPOSED LOT 1128

This plan shows

Details of Proposed Lot 1128 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

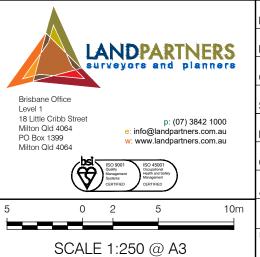
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 032 - 1

## **PROPOSED** LOT**PROPOSED** 1116 LOT PROPOSED LOT1118 Retaining Wall Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m **PROPOSED** LOT 1130 375m<sup>2</sup> PROPOSED LOT **PROPOSED** 1128 LOT 1129 BOOMI AVENUE (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1129

Details of Proposed Lot 1129 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

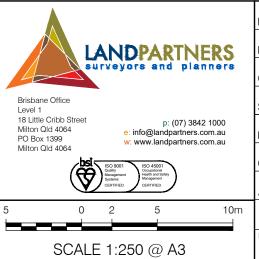
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	455-011	-4-1	
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 033 - 1

## PROPOSED LOT **PROPOSED** 1115 LOT **PROPOSED** 1116 LOT 1117 Retaining Wall Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m PROPOSED LOT //3/ 375m<sup>2</sup> PROPOSED LOT 1129 **PROPOSED** LOT 45.75 . 1130 BOOMI AVENUE (PROPOSED NEW ROAD) Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

DISCLOSURE PLAN FOR PROPOSED LOT 1130

This plan show

Details of Proposed Lot 1130 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

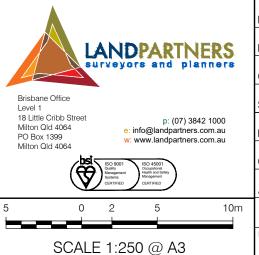
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA		DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024
SCALE  DRAWN KDN  CHECKED MEA	1:250 (	A3)  DATE  DATE	18/07/20

UDN BRSS7455 - 011 - 034 - 1

<u>.</u> ≣:

Where applicable,

Finished Surface Levels (FSL):

Fasements are shown as

• 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

## PROPOSED LOT PROPOSED 1114 LOT**PROPOSED** 1115 LOT1116 99°15′ Retaining Wall Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m PROPOSED LOT375m<sup>2</sup> 1132 **PROPOSED** LOT **PROPOSED** 1130 LOT 1131 12.5 BOOMI AVENUE (PROPOSED NEW ROAD) Items included in this section are in addition to standard Disclosure Plan requirements

(as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1131

Details of Proposed Lot 1131 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

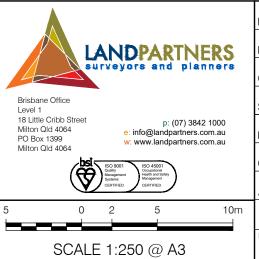
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 035 - 1

## **PROPOSED** LOT**PROPOSED** 1113 LOT PROPOSED 1114 LOT 1115 Retaining Wall Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m PROPOSED LOT //33 420m² PROPOSED LOT**PROPOSED** 1131 LOT 1132 BOOMI AVENUE (PROPOSED NEW ROAD) LOCALITY DIAGRAM

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1132

Details of Proposed Lot 1132 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

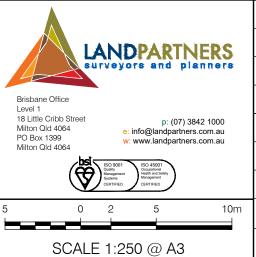
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD	AHD		
			· · · · ·		
	LEVEL ORIGIN	PSM16	5225 RL	38.006	
	COMPUTER FILE	BRSS7455-011-4-1			
	SCALE	1:250 (A3)			
	DRAWN KDN	Л	DATE	18/07/2024	
	CHECKED MEA	4	DATE	18/07/2024	
	APPROVED RGA	4	DATE	18/07/2024	
٦					

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## **PROPOSED** LOT**PROPOSED** 1112 LOTPROPOSED 1113 LOT ///4 99°15′ Retaining Wall Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m 47.25 **PROPOSED** LOT//34 375m<sup>2</sup> **PROPOSED** LOT 1132 **PROPOSED** LOT 1133 BOOMI AVENUE (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

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This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1133

This plan show

Details of Proposed Lot 1133 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

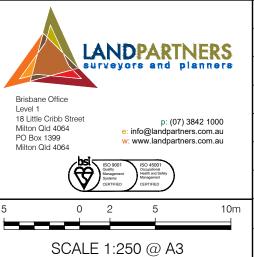
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

UDN BRSS7455 - 011 - 037 - 1

## **PROPOSED** LOT 1020 PROPOSED 1112 SP337713 LOT 1113 Retaining Wall Min Height: 0.7m 99°15' /3.989 Max Height: 0.7m Retaining Wall Average Height: 0.7m Min Height: 2.5m Max Height: 2.5m Average Height: 2.5m 1019 SP337713 420m² PROPOSED LOT//33 1018 **PROPOSED** SP337713 LOT 1134 BOOMI AVENUE (PROPOSED NEW ROAD) Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable,

DISCLOSURE PLAN FOR PROPOSED LOT 1134

Details of Proposed Lot 1134 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

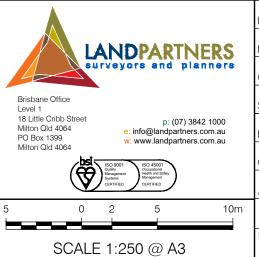
Project:

## **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

|BRSS7455 - 011 - 038 - 1

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

# BOOMI AVENUE (PROPOSED NEW ROAD) **PROPOSED** LOT 1135 1017 SP337713 825m² PROPOSED LOT 1136 LOCALITY DIAGRAM 625 SP100882 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. Fasements are shown as

## DISCLOSURE PLAN FOR PROPOSED LOT 1135

Details of Proposed Lot 1135 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

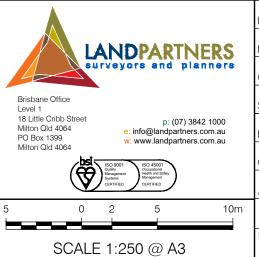
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

## **PEBBLE CREEK** STAGE 11

NOT TO SCALE

## **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA		DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024

|BRSS7455 - 011 - 039 - 1

# BOOMI AVENUE (PROPOSED NEW ROAD) **PROPOSED** 1136 **PROPOSED** LOT //35 823m<sup>2</sup> **PROPOSED** LOT 1137 625 SP100882 626 SP100882 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on

DISCLOSURE PLAN FOR PROPOSED LOT 1136

This plan shows

Details of Proposed Lot 1136 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

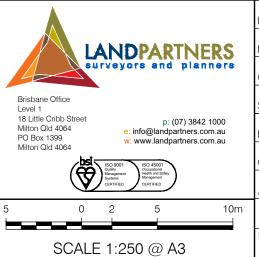
## PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

# ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

UDN BRSS7455 - 011 - 040 - 1

site after completion of construction.

Easements are shown as:

# BOOMI AVENUE (PROPOSED NEW ROAD) 18.667 **PROPOSED PROPOSED** LOT //36 714m2 **PROPOSED** LOT 1138 626 SP100882

#### Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1137

Details of Proposed Lot 1137 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

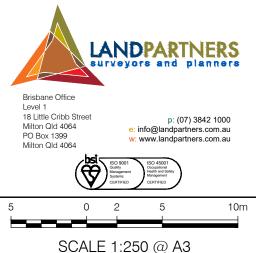
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

|BRSS7455 - 011 - 041 - 1

## BOOMI AVENUE (PROPOSED NEW ROAD) 18.667 45.5 \_\_ - 46.25 **PROPOSED** LOT 1138 **PROPOSED** LOT1/37 7/3m2 **PROPOSED** LOT1139 626 SP100882

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1138

Details of Proposed Lot 1138 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

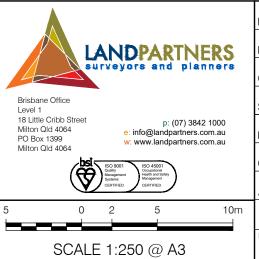
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA		DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024

|BRSS7455 - 011 - 042 - 1

## BOOMI AVENUE (PROPOSED NEW ROAD) **PROPOSED** LOT 1139 **PROPOSED** LOT 1138 712m2 PROPOSED LOT 1140 626 SP100882 627 SP100882 Items included in this section are in addition to standard Disclosure Plan requirements

(as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1139

Details of Proposed Lot 1139 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

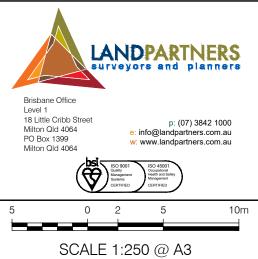
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD			
	LEVEL OBIONI	5014			
	LEVEL ORIGIN	PSM16	5225 RL	38.006	
	001451475554				
	COMPUTER FILE	BRSS7	455-011	-4-1	
	SCALE	1:250 (A3)			
	DRAWN KDN	И	DATE	18/07/2024	
	CHECKED MEA  APPROVED RGA		DATE	18/07/2024	
			DATE	18/07/2024	

|BRSS7455 - 011 - 043 - 1

## BOOMI AVENUE (PROPOSED NEW ROAD) 21.5 **PROPOSED** LOT 1140 **PROPOSED** LOT 1139 $819m^{2}$ **PROPOSED** LOT 1141 627 SP100882 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable,

DISCLOSURE PLAN FOR PROPOSED LOT 1140

Details of Proposed Lot 1140 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

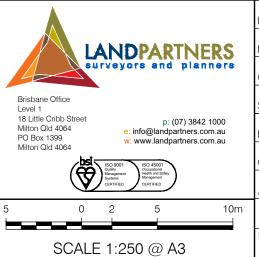
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM LEVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 ORAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE 18/07/2024 APPROVED RGA

|BRSS7455 - 011 - 044 - 1

• 36.80

Finished Surface Levels (FSL):

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

Fasements are shown as

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# BOOMI AVENUE (PROPOSED NEW ROAD) **PROPOSED** LOT 1141 **PROPOSED** LOT 1140 818m<sup>2</sup> **PROPOSED** LOT 1142 627 SP100882

#### Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1141

Details of Proposed Lot 1141 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

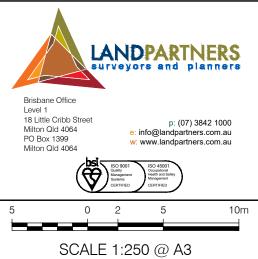
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM		AHD			
COMPUTER FILE BRSS		PSM16	PSM165225 RL38.006		
		BRSS7	BRSS7455-011-4-1		
		1:250 (A3)			
		Л	DATE	18/07/2024	
		4	DATE	18/07/2024	

APPROVED RGA DATE 18/07/2024

|BRSS7455 - 011 - 045 - 1

## BOOMI AVENUE (PROPOSED NEW ROAD) PROPOSED **1142** PROPOSED LOT 1141 **PROPOSED** LOT 1143 --- 43.25 627 SP100882 628 SP100882 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a

representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

Finished Surface Levels (FSL):

Fasements are shown as

• 36.80

#### DISCLOSURE PLAN FOR PROPOSED LOT 1142

This plan shows

Details of Proposed Lot 1142 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

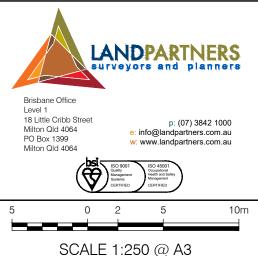
#### PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE 18/07/2024 APPROVED RGA

DCC746

BRSS7455 - 011 - 046 - 1

## BOOMI AVENUE (PROPOSED NEW ROAD) 99015 **PROPOSED** *EASEMENT* Emt DSP348849 **PROPOSED** 43.25 LOT 1143 **PROPOSED** LOT1142 816m2 1248 SP348849 628 SP100882

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

This additional information is indicative only, has been taken from various sources and is a

representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1143

Details of Proposed Lot 1143 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m shown as: ——48.25——

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

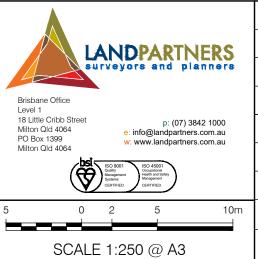
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	١	DATE	18/07/2024	

BRSS7455 - 011 - 047 - 1

#### EMBLEY STREET (PROPOSED NEW ROAD) PROPOSED LOT 1145 99°15' 28.0 PROPOSED LOT 439m 1247 144 SP348849 Min Height: 0.5m Max Height: 1.1m Average Height: 0.8m BOOMI AVENUE (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1144

Details of Proposed Lot 1144 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

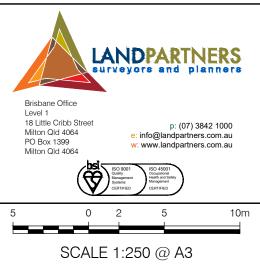
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA	4	DATE	18/07/2024
APPROVED RGA		DATE	18/07/2024

|BRSS7455 - 011 - 048 - 1

## **PROPOSED** LOT1146 1224 EMBLEY STREET (PROPOSED NEWROAD) SP348849 PROPOSED LOT 1145 1247 SP348849 PROPOSED LOT 1144

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a

representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1145

Details of Proposed Lot 1145 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not

Area of Fill shown as:

drawn to scale.

Fill ranges in depth from 0.0m to 0.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

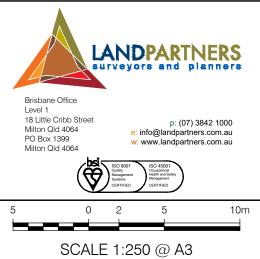
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD			
	LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7455-011-4-1			
	SCALE	1:250 (A3)			
	DRAWN KDM  CHECKED MEA  APPROVED RGA		DATE	18/07/2024	
			DATE	18/07/2024	
			DATE	18/07/2024	

|BRSS7455 - 011 - 049 - 1

## PROPOSED LOT 1147 EMBLEY STREET (PROPOSED NEW ROAD) 99015 **PROPOSED** 392m2 1224 SP348849 PROPOSED LOT1145 1247 SP348849

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

LOCALITY DIAGRAM NOT TO SCALE

#### DISCLOSURE PLAN FOR PROPOSED LOT 1146

Details of Proposed Lot 1146 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

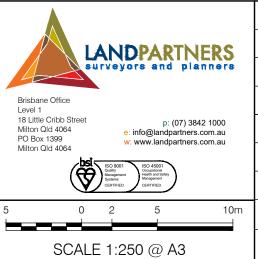
Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ODIOIN	DOMAG	PSM165225 RL38.006		
LEVEL ORIGIN	PSMT6	5225 RL	38.006	
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA		DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 050 - 1

## COEN ROAD (PROPOSED NEW ROAD) Min Height: 0.3m **PROPOSED** Max Height: 1.4m Average Height: 0.9m EMBLEY STREET (PROPOSED NEW ROAD) LOT 1147 439m2 1224 SP348849 **PROPOSED** LOT1146

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1147

Details of Proposed Lot 1147 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

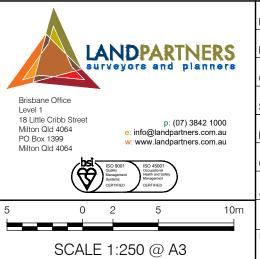
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL DATON	АПО			
LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1			
SCALE	1:250 (A3)			
DRAWN KDN	Л	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA	4	DATE	18/07/2024	

|BRSS7455 - 011 - 051 - 1

## 330 SP322364 329 SP322364 1221 99°15' SP348849 PROPOSED LOT 1222 1149 SP348849 420m<sup>2</sup> **PROPOSED** LOT 1148 1223 SP348849 COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

\_\_\_\_

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1148

This plan shov

Details of Proposed Lot 1148 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

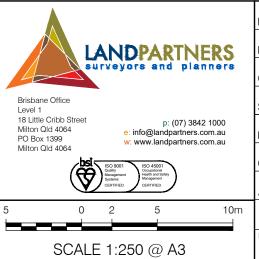
#### PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA	4	DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024

BRSS7455 - 011 - 052 - 1

## 331 SP322364 330 SP322364 329 SP322364 **PROPOSED** LOT 1150 375m<sup>2</sup> **PROPOSED** LOT 1148 **PROPOSED** LOT 1149 COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements

Where applicable,

Finished Surface Levels (FSL): • 36.80

(as defined in the Land Sales Act 1984)

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1149

Details of Proposed Lot 1149 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

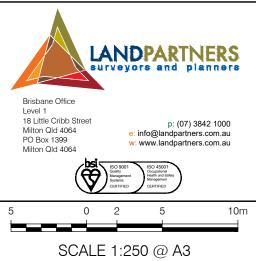
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD			
	LEVEL ORIGIN	PSM16	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
	SCALE	1:250 (A3)			
	DRAWN KDM  CHECKED MEA  APPROVED RGA		DATE	18/07/2024	
			DATE	18/07/2024	
			DATE	18/07/2024	

|BRSS7455 - 011 - 053 - 1

## 332 SP322364 33/ SP322364 330 SP322364 PROPOSED LOT 1151 375m<sup>2</sup> PROPOSED LOT 1149 **PROPOSED** 1150 LOCALITY DIAGRAM

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL):

• 36.80

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1150

Details of Proposed Lot 1150 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

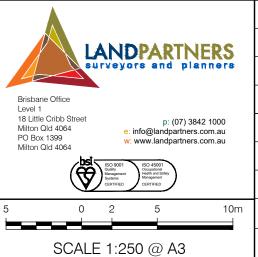
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM16	5225 RL	38.006
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDN	И	DATE	18/07/2024
CHECKED MEA	4	DATE	18/07/2024
APPROVED RGA		DATE	18/07/2024

|BRSS7455 - 011 - 054 - 1

## 333 SP322364 332 SP322364 33/ SP322364 99°15' 14.0 PROPOSED PROPOSED LOTLOT 1150 1152 420m² **PROPOSED** LOT 1151 COEN ROAD (PROPOSED NEW ROAD) LOCALITY DIAGRAM

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

Details of Proposed Lot 1151 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

DISCLOSURE PLAN FOR PROPOSED LOT 1151

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

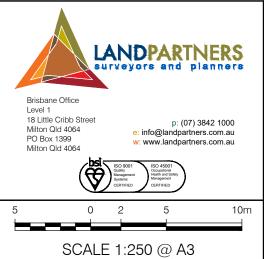
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD			
LEVEL ORIGIN	PSM16	5225 RL	38.006	
COMPUTER FILE	BRSS7	BRSS7455-011-4-1		
SCALE	1:250 (A3)			
DRAWN KDN	И	DATE	18/07/2024	
CHECKED MEA	4	DATE	18/07/2024	
APPROVED RGA		DATE	18/07/2024	

|BRSS7455 - 011 - 055 - 1

## PROPOSED LOT 1163 333 SP322364 332 SP322364 **PROPOSED PROPOSED** LOT LOT 1153 1151 375m<sup>2</sup> **PROPOSED** LOT 1152 COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

n shows:

Details of Proposed Lot 1152 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

DISCLOSURE PLAN FOR PROPOSED LOT 1152

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

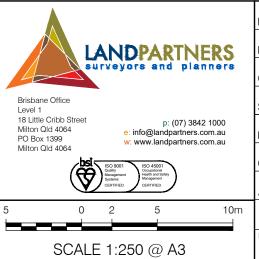
#### PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDM		DATE	18/07/2024
CHECKED MEA		DATE	18/07/2024
APPROVED RGA		DATE	18/07/2024

UDN BRSS7455 - 011 - 056 - 1

## **PROPOSED** LOT**PROPOSED** 1162 LOT 1163 Retaining Wall 333 Min Height: 1.2m Max Height: 1.2m SP322364 Average Height: 1.2m PROPOSED PROPOSED\_ 47.5 LOTLOT 1152 1154 375m<sup>2</sup> **PROPOSED** LOT 1153 47.25 COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1153

Details of Proposed Lot 1153 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25——

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

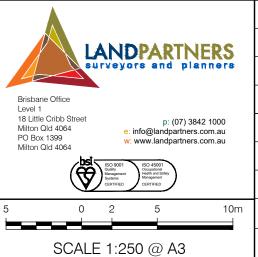
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



	LEVEL DATUM	AHD		
	LEVEL ORIGIN	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7455-011-4-1		
SCALE		1:250 (A3)		
	DRAWN KDM		DATE	18/07/2024
	CHECKED MEA		DATE	18/07/2024
	APPROVED RGA		DATE	18/07/2024

|BRSS7455 - 011 - 057 - 1

## PROPOSED LOT PROPOSED 1161 LOT 1162 **PROPOSED** Retaining Wall LOT Min Height: 1.2m 1163 Max Height: 1.2m Average Height: 1.2m PROPOSED LOT 1155 375m2 **PROPOSED** LOT 1153 47.75 -**PROPOSED** LOT 1154 COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1154

Details of Proposed Lot 1154 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

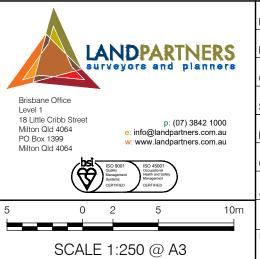
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN KDM		DATE	18/07/2024
CHECKED MEA		DATE	18/07/2024
APPROVED RGA	4	DATE	18/07/2024

|BRSS7455 - 011 - 058 - 1

## **PROPOSED** LOT **PROPOSED** 1161 LOTPROPOSED 1162 Retaining Wall LOT1158 Max Height: 1.2m **PROPOSED** LOT 1157 426m² PROPOSED LOT **PROPOSED** 1154 PROPOSED LOT 47.75 LOT 1156 1155 COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL): • 36.80

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NOTE: This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on

site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1155

This plan show

Details of Proposed Lot 1155 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $-\cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

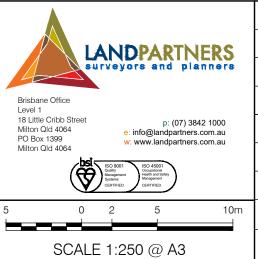
Project:

#### PEBBLE CREEK STAGE 11

Client

\_OCALITY DIAGRAM NOT TO SCALE

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



	LEVEL DATUM	AHD		
	LEVEL ORIGIN	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7455-011-4-1		
	SCALE	1:250 (A3)		
	CHECKED MEA  APPROVED RGA		DATE	18/07/2024
			DATE	18/07/2024
			DATE	18/07/2024

UDN BRSS7455 - 011 - 059 - 1

#### HAUGHTON STRETT PROPOSED (PROPOSED NEW ROAD) LOT 1157 29.0 PROPOSED PROPOSED LOT LOT 397m² 1155 1156 Min! Height: 0.2m Max Height: 0.7m COEN ROAD (PROPOSED NEW ROAD)

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1156

Details of Proposed Lot 1156 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

p: (07) 3842 1000 (07) 3842 1001

: info@landpartners.com. w: www.landpartners.com.a

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BRSS7455 - 011 - 060 - 2

#### PROPOSED LOT 1158 HAUGHTON STRETT Min Height: 0.0m (PROPOSED NEW ROAD) Max Height: 0.5m Average Height: 0.3m **PROPOSED** LOT 305m2 1157 PROPOSED LOT 1155 PROPOSED LOT 1156

#### Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL) • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1157

Details of Proposed Lot 1157 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**

\_EVEL DATUM

EVEL ORIGIN

COMPUTER FILE

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(07) 3842 1001 : info@landpartners.com. w: www.landpartners.com.a

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BRSS7455-011-4-3

DATE

DATE

1:250 (A3)

KDM

08/10/2024

08/10/2024

DATE 08/10/2024

#### PROPOSED LOT 1159 HAUGHTON STRETT (PROPOSED NEWROAD) Average Height: 0.3m PROPOSED **PROPOSED** LOT LOT 1161 305m2 1158 Retaining Wall Min Height: 0.0m PROPOSED Max Height: 0.5m LOT Average Height: 0.3m PROPOSED 1155 LOT 1157

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL) • 36.80

Fasements are shown as

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#### DISCLOSURE PLAN FOR PROPOSED LOT 1158

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Details of Proposed Lot 1158 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25—— Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



Level 1 18 Little Cribb Street (07) 3842 1001 : info@landpartners.com. OLD 4064 Milton OLD 4064 w: www.landpartners.com.a 0 10m

2 SCALE 1:250 @ A3

\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-3 1:250 (A3) CALE 08/10/2024 DRAWN KDM DATE CHECKED LPL DATE 08/10/2024 APPROVED RGA DATE 08/10/2024

BRSS7455 - 011 - 062 - 3

#### **PROPOSED** LOT1160 HAUGHTON STRETT (PROPOSED NEW ROAD) **PROPOSED** LOT 305m2 1159 PROPOSED LOT 1161 Retaining Wall Min Height: 0.0m Max Height: 0.5m Average Height: 0.3m **PROPOSED** LOT 1158

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Fasements are shown as

Finished Surface Levels (FSL):

• 36.80

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This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

# as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76). This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions. Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: ——48.25—— Retaining Walls are shown as: The locations of the retaining walls shown are indicative from design and not drawn to scale. Area of Fill shown as: Fill ranges in depth from 0.0m to 0.3m.

AS 3798-2007, with Level 1 certification.

shown as:  $-\cdot - 0.25 - \cdot -$ 

Depth of fill contours at an interval of 0.25m.

SCALE 1:250 @ A3

Areas and dimensions shown on this plan are subject to registration with the Department of

Compaction of fill will be carried out in accordance with Australian Standard

DISCLOSURE PLAN FOR PROPOSED LOT 1159

Details of Proposed Lot 1159 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described

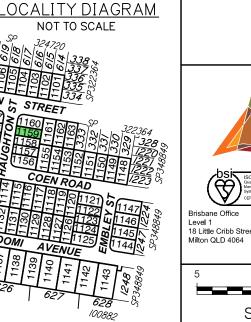
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:

#### PEBBLE CREEK STAGE 11

Client

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



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BRSS7455 - 011 - 063 - 3

## Retaining Wall Min Height: 0.1m Max Height: 0.7m HAUGHTON STRETT Average Height: 0.4m (PROPOSED NEW ROAD) **PROPOSED** LOT 412m2 1160 PROPOSED LOT 1161 **PROPOSED** LOT 1159

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1160

Details of Proposed Lot 1160 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m

shown as: ——48.25——

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-2 1:250 (A3) SCALE 22/08/2024 DRAWN KDM DATE CHECKED RGA DATE 22/08/2024 DATE 22/08/2024 APPROVED RGA

0 2 10m SCALE 1:250 @ A3

BRSS7455 - 011 - 064 - 2

#### 14.189 **PROPOSED** LOT 1160 **PROPOSED** LOT 1161 426m² PROPOSED PROPOSED LOT LOT 1159 1162 **PROPOSED** Max Height: 1.2m LOT Average Height: 1.2m 1158 PROPOSED LOT 1155 **PROPOSED** LOT 1154 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. Fasements are shown as

#### DISCLOSURE PLAN FOR PROPOSED LOT 1161

This plan shows

Details of Proposed Lot 1161 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m, shown as:  $-\!\!\!\!-\!\!\!\!-48.25-\!\!\!\!-\!\!\!\!-$ 

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $-\cdot - 0.25 - \cdot -$ 

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Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

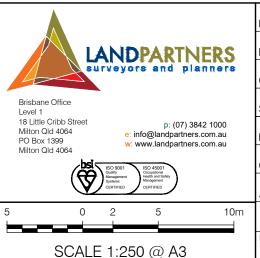
#### PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



	LEVEL DATUM	AHD		
	LEVEL ORIGIN	PSM165225 RL38.006		
	COMPUTER FILE	BRSS7455-011-4-1		
	SCALE	1:250 (A3)		
	DRAWN KDM  CHECKED MEA  APPROVED RGA		DATE	18/07/2024
			DATE	18/07/2024
			DATE	18/07/2024

UDN BRSS7455 - 011 - 065 - 1

## 99°15' **PROPOSED** LOT 1162 PROPOSED LOT 1161 375m<sup>2</sup> **PROPOSED** LOT 1163 Max Height: 1.2m Average Height: 1.2m PROPOSED LOT 1155 PROPOSED **PROPOSED** LOT LOT 1154 1153 Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984) Where applicable, This additional information is indicative only, has been taken from various sources and is a Finished Surface Levels (FSL): • 36.80 representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. Fasements are shown as

#### DISCLOSURE PLAN FOR PROPOSED LOT 1162

This plan shows

Details of Proposed Lot 1162 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

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Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

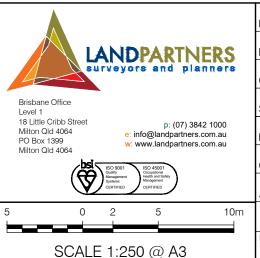
#### PEBBLE CREEK STAGE 11

Client

LOCALITY DIAGRAM

NOT TO SCALE

## ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD



	LEVEL DATUM	AHD		
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	COMPUTER FILE	BRSS7455-011-4-1		
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	CHECKED MEA  APPROVED RGA		DATE	18/07/2024
			DATE	18/07/2024

UDN BRSS7455 - 011 - 066 - 1

## HANN STREET (PROPOSED NEW ROAD) **PROPOSED** 46.25 -LOT 1163 PROPOSED LOT375m<sup>2</sup> 1162 333 SP322364 Min Height: 1.2m Max Height: 1.2m Average Height: 1.2m PROPOSED LOT 1154 PROPOSED **PROPOSED** LOT LOT //53 1152

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL): • 36.80

Fasements are shown as

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

#### DISCLOSURE PLAN FOR PROPOSED LOT 1163

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984

Details of Proposed Lot 1163 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,

Retaining Walls are shown as:

shown as: ——48.25——

The locations of the retaining walls shown are indicative from design and not

drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m.

shown as:  $- \cdot - 0.25 - \cdot -$ 

Areas and dimensions shown on this plan are subject to registration with the Department of

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

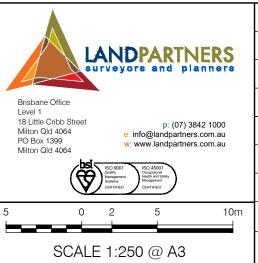
Project:

#### **PEBBLE CREEK** STAGE 11

LOCALITY DIAGRAM

NOT TO SCALE

#### **ORCHARD (PEBBLE CREEK) DEVELOPMENTS PTY LTD**



\_EVEL DATUM EVEL ORIGIN PSM165225 RL38.006 COMPUTER FILE BRSS7455-011-4-1 1:250 (A3) SCALE 18/07/2024 DRAWN KDM DATE CHECKED MEA DATE 18/07/2024 DATE APPROVED RGA 18/07/2024

|BRSS7455 - 011 - 067 - 1

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