

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1101

This plan shows:

Details of Proposed Lot 1101 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: --- 48.25 ---

Retaining Walls are shown as: ---

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: --- 0.25 ---

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

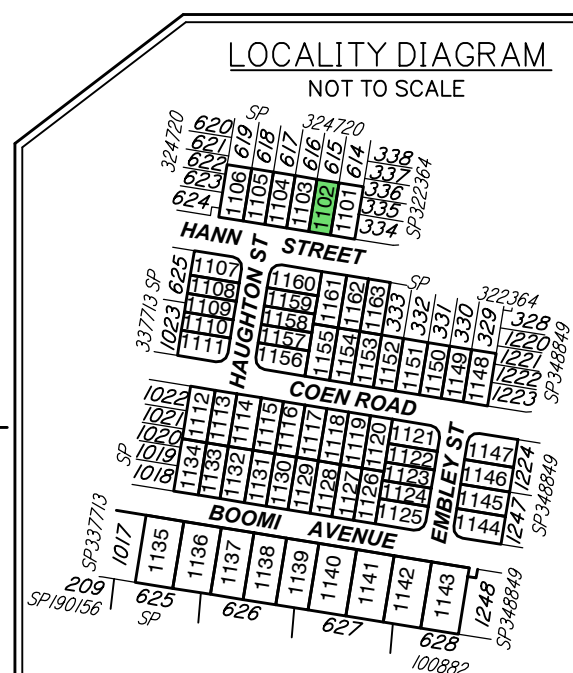
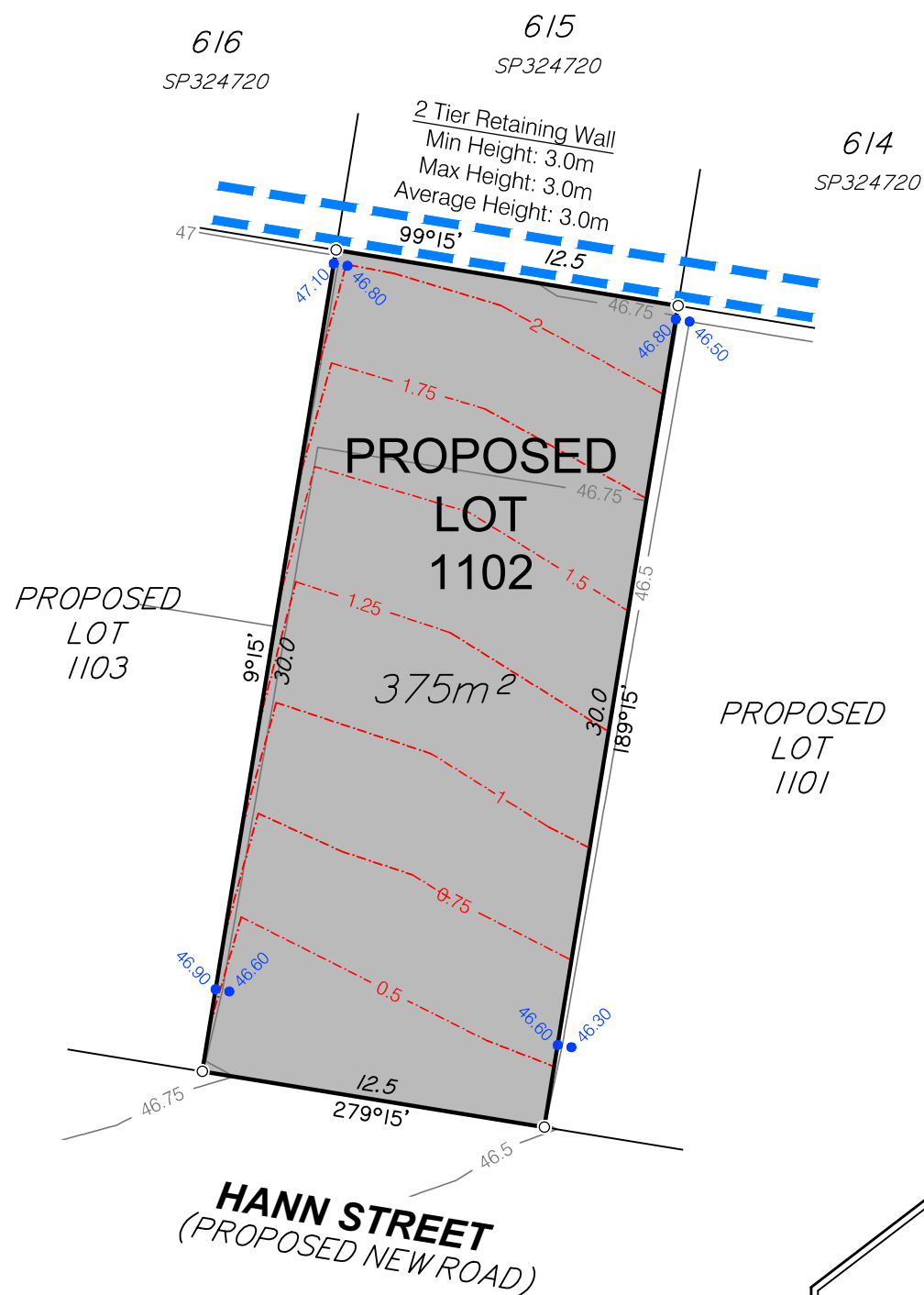
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w: www.landpartners.com.au



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LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 005 - 1



Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.3m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - - 0.25 - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

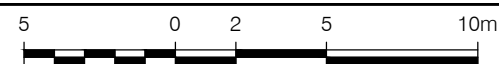
PEBBLE CREEK STAGE 11

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



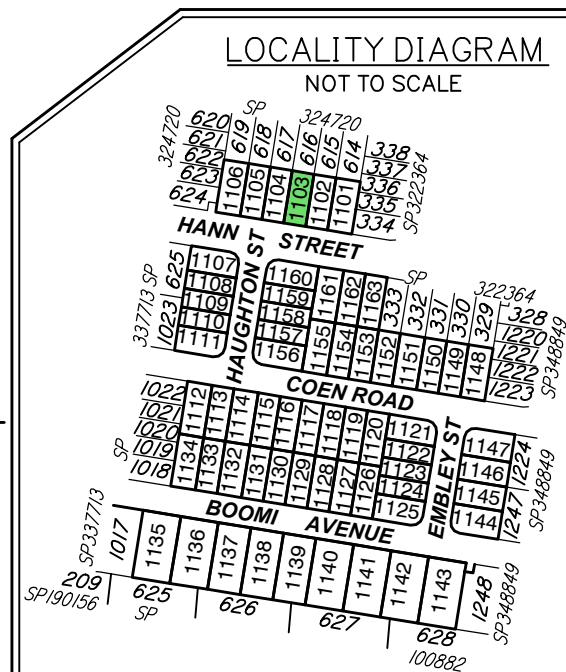
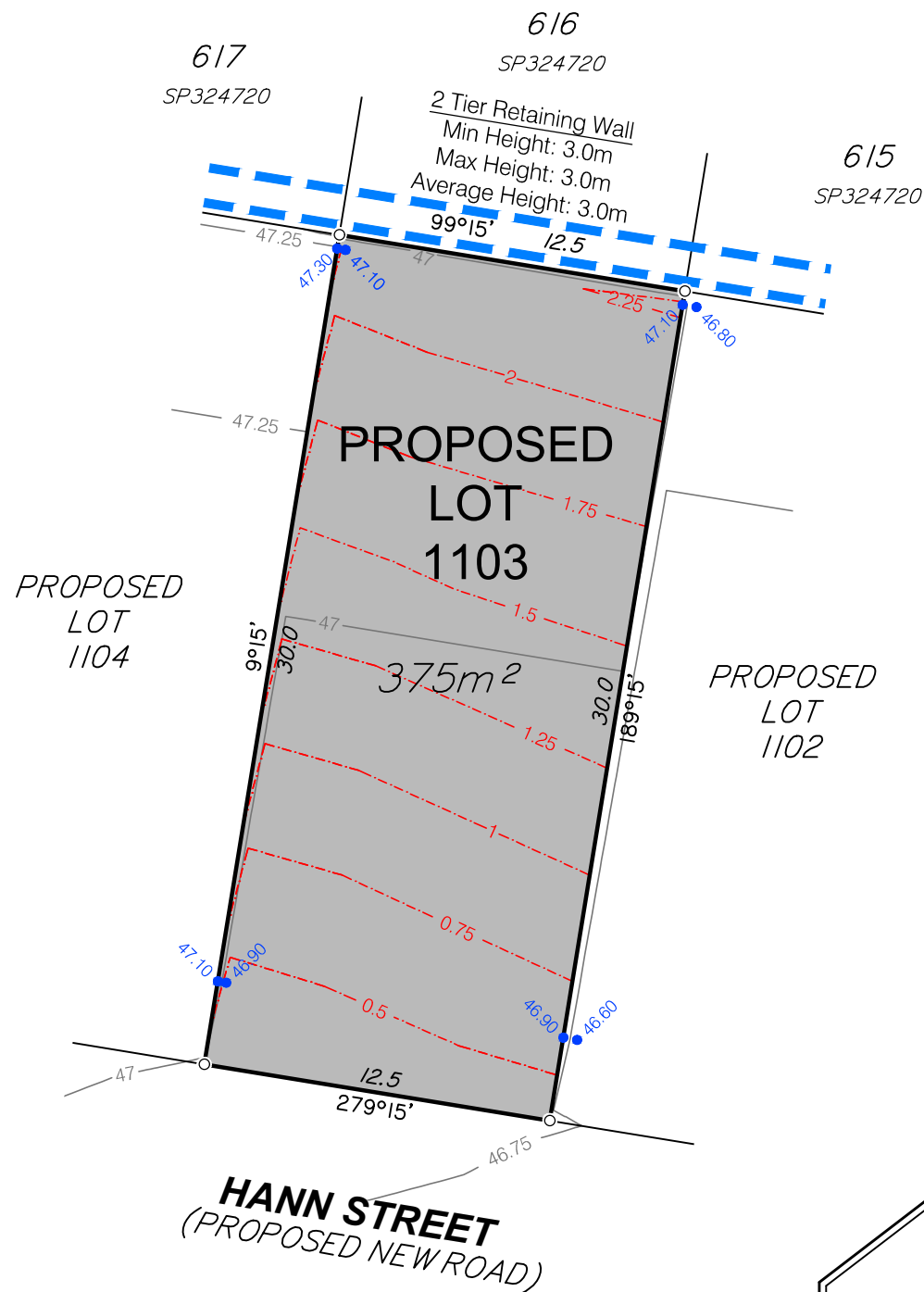
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 006 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1103

This plan shows:

Details of Proposed Lot 1103 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.3m to 2.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

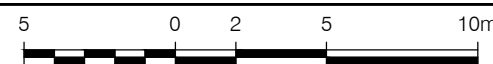
**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
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COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 007 - 1

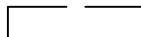
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

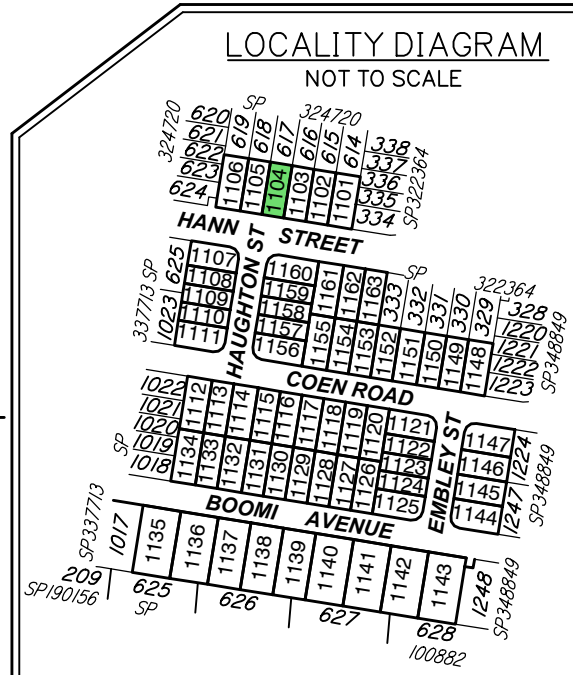
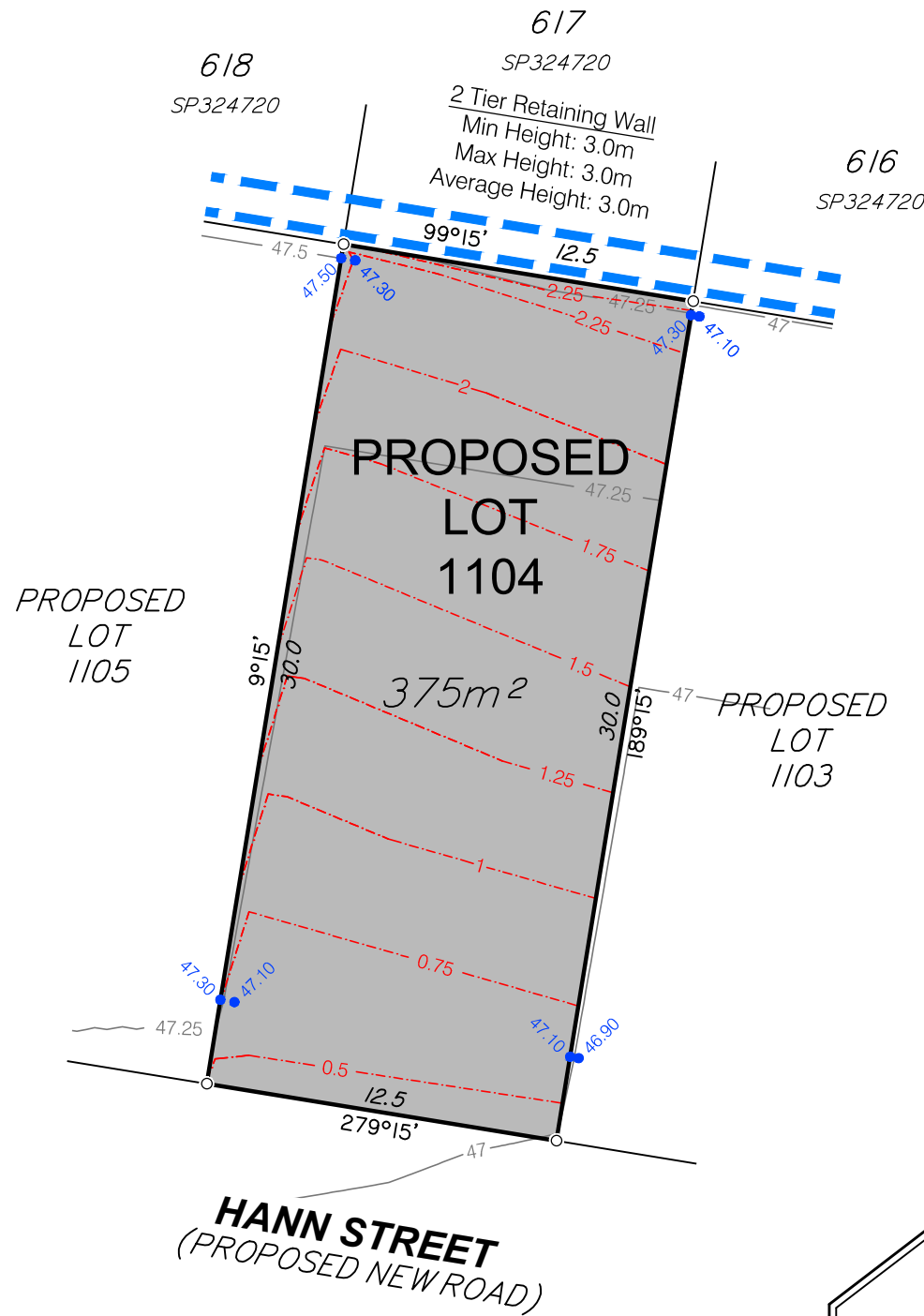
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1104

This plan shows:

Details of Proposed Lot 1104 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.4m to 2.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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w: www.landpartners.com.au

5 0 2 5 10m

SCALE 1:250 @ A3

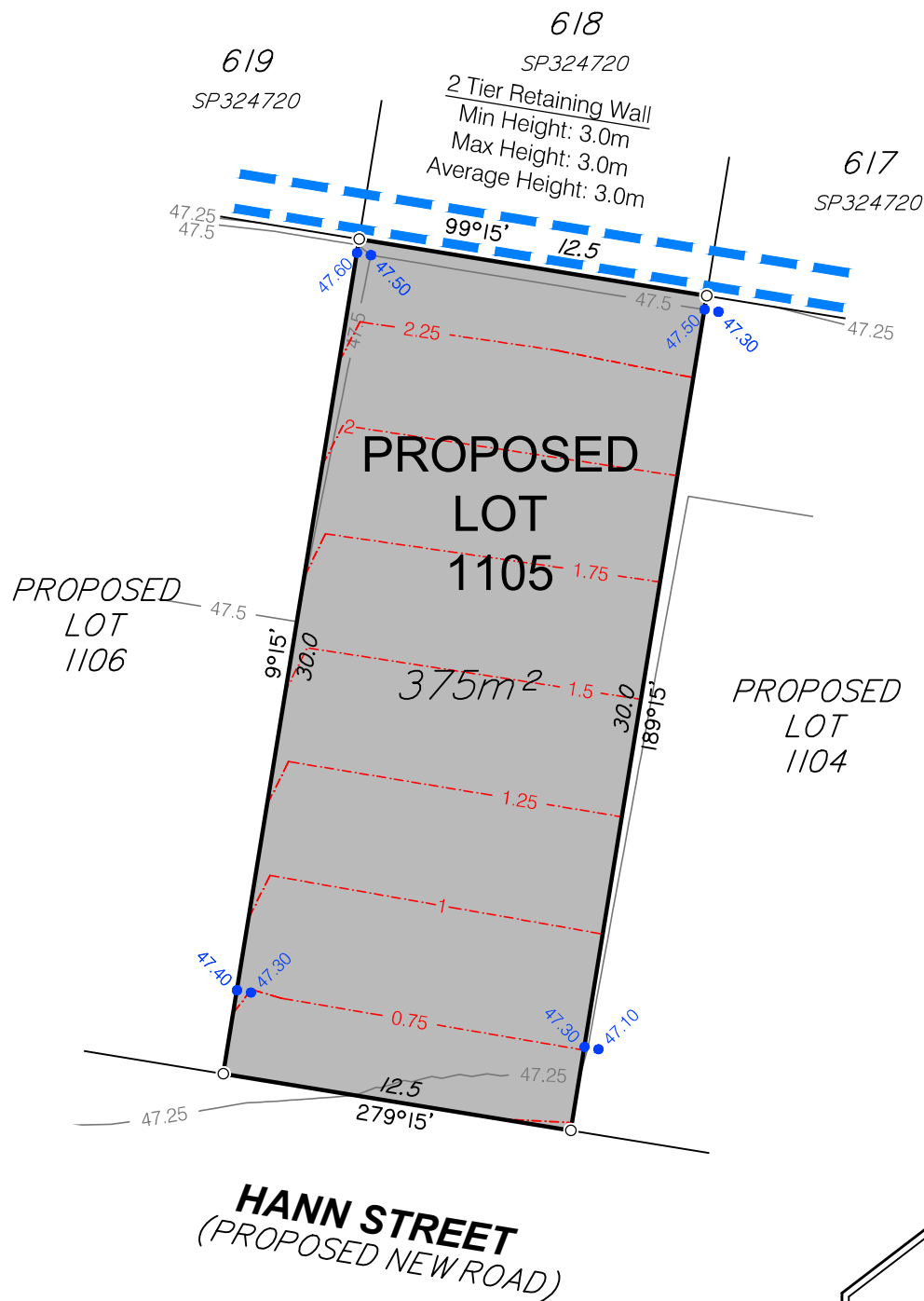
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DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 008 - 1

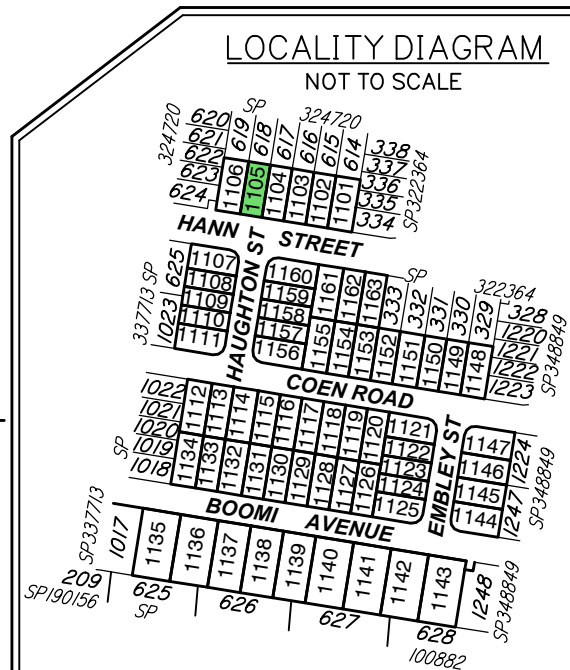
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as: — — — — —

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



HANN STREET
(PROPOSED NEW ROAD)



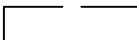
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1105

This plan shows:

Details of Proposed Lot 1105 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:



The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:



Fill ranges in depth from 0.5m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

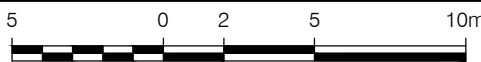
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

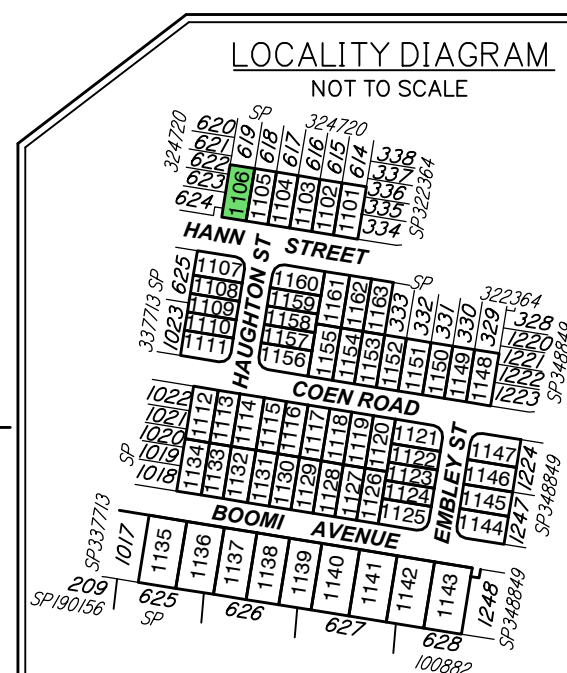
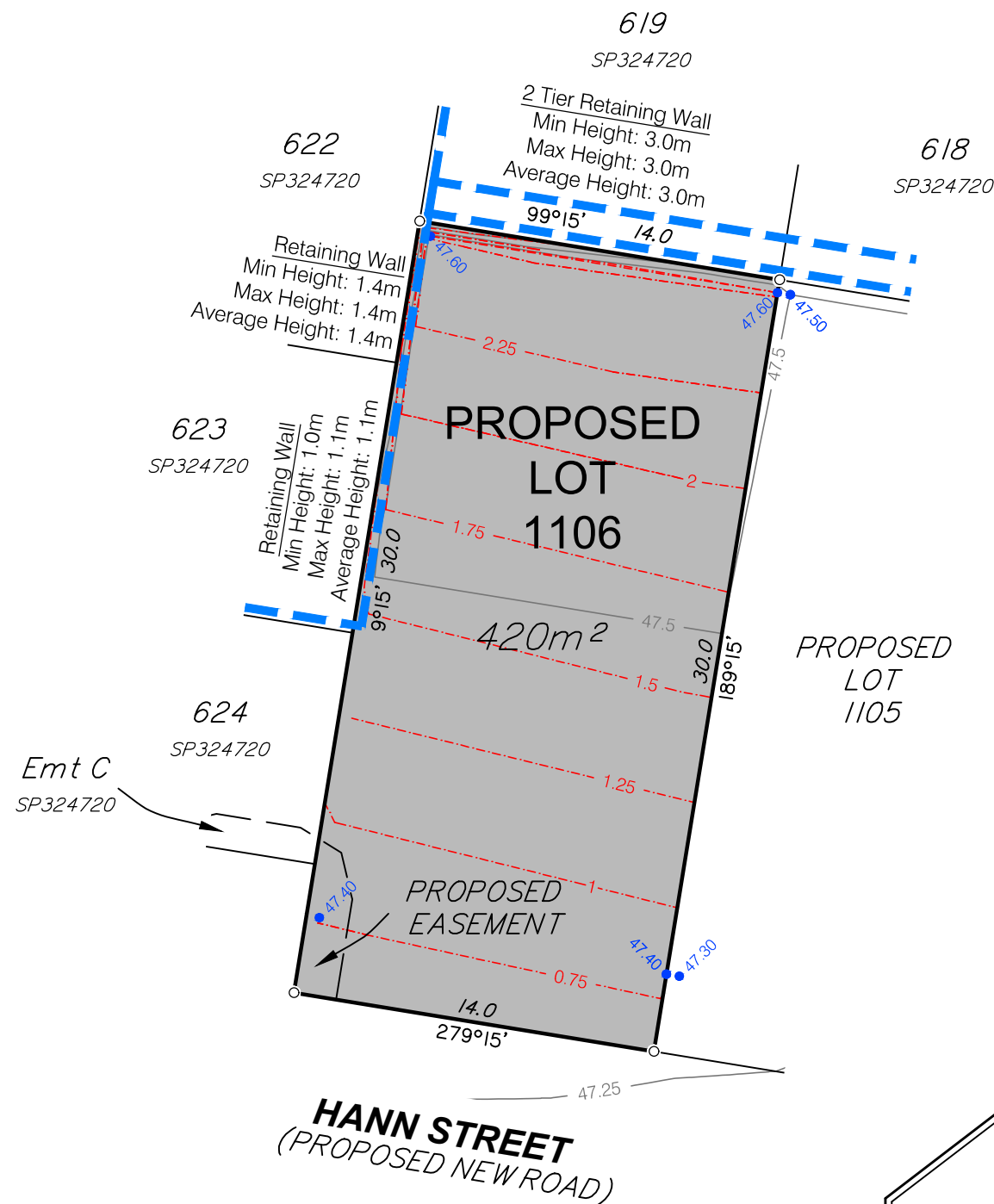
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 009 - 1



Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.6m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - · - 0.25 - · -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

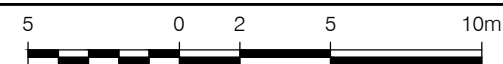
PEBBLE CREEK STAGE 11

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



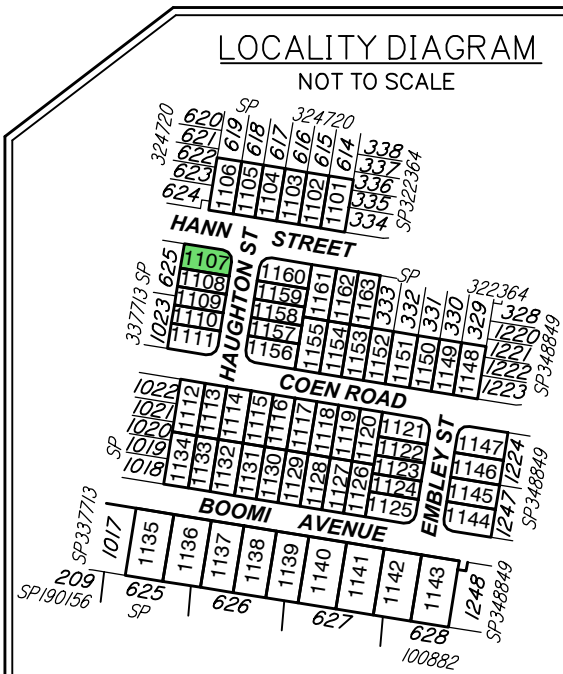
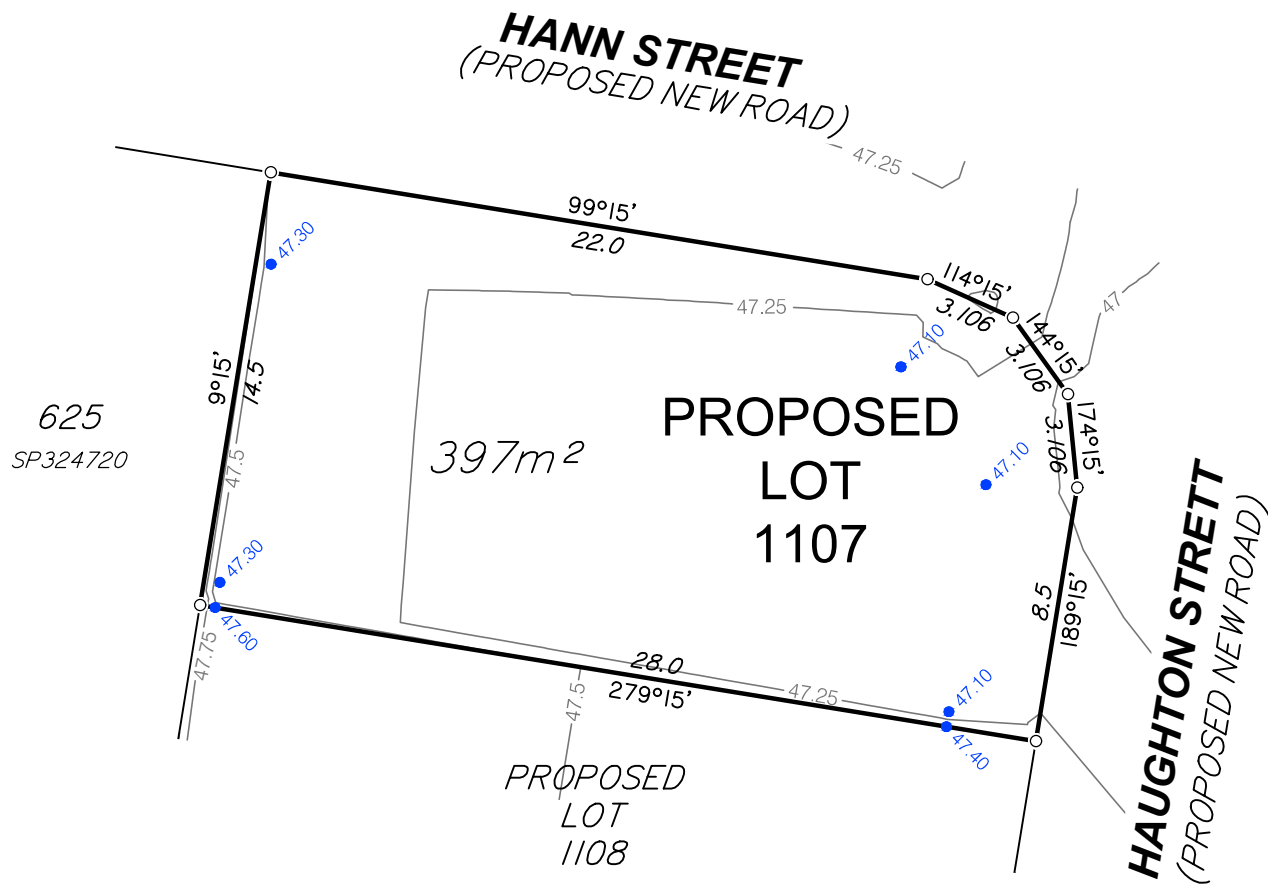
p: (07) 3842 1000
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGa	DATE	18/07/2024

UDN
BRSS7455 - 011 - 010 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1107

This plan shows:

Details of Proposed Lot 1107 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

This lot requires no fill.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:
**PEBBLE CREEK
STAGE 11**

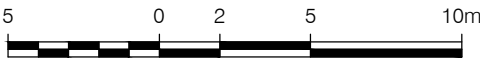
Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
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18 Little Cribb Street
Milton QLD 4064

PO Box 1399
Milton
QLD 4064

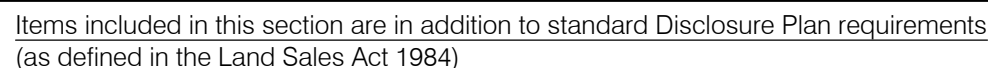
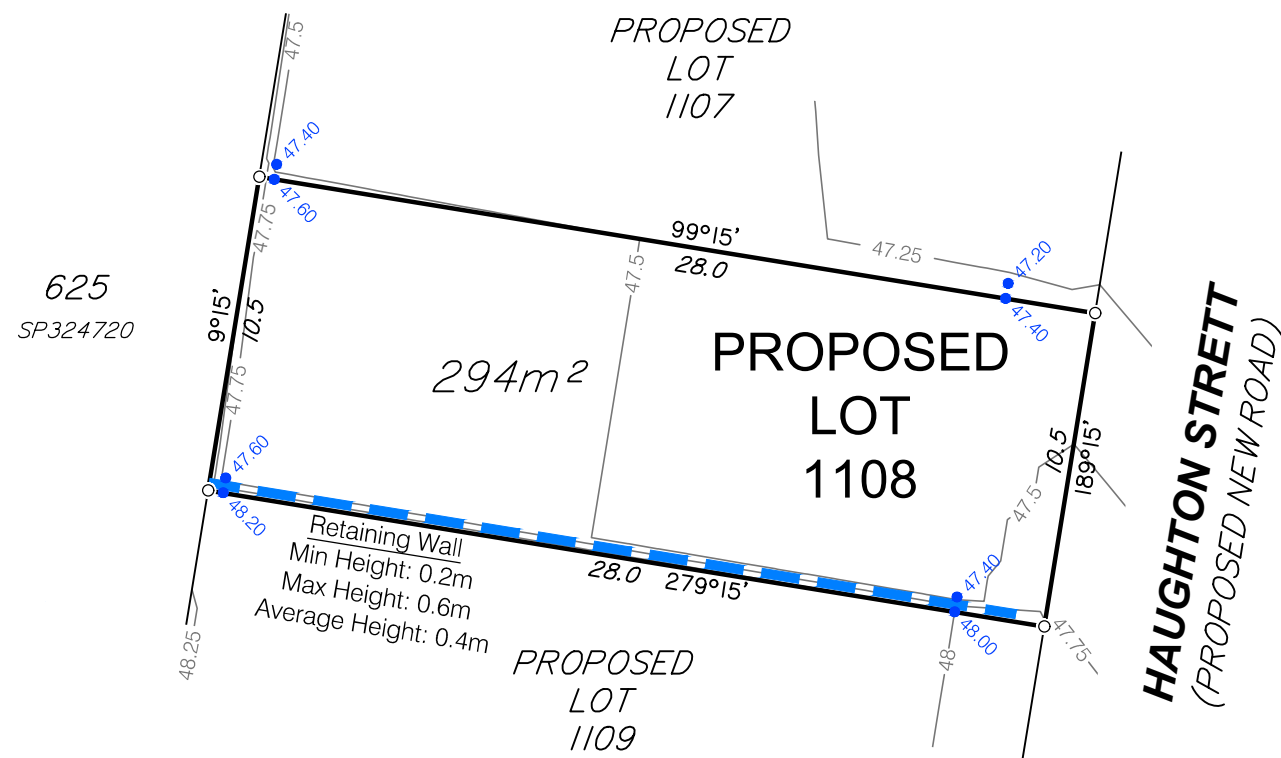
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-3		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	08/10/2024
CHECKED	LPL	DATE	08/10/2024
APPROVED	RG	DATE	08/10/2024

UDN
BRSS7455 - 011 - 011 - 3



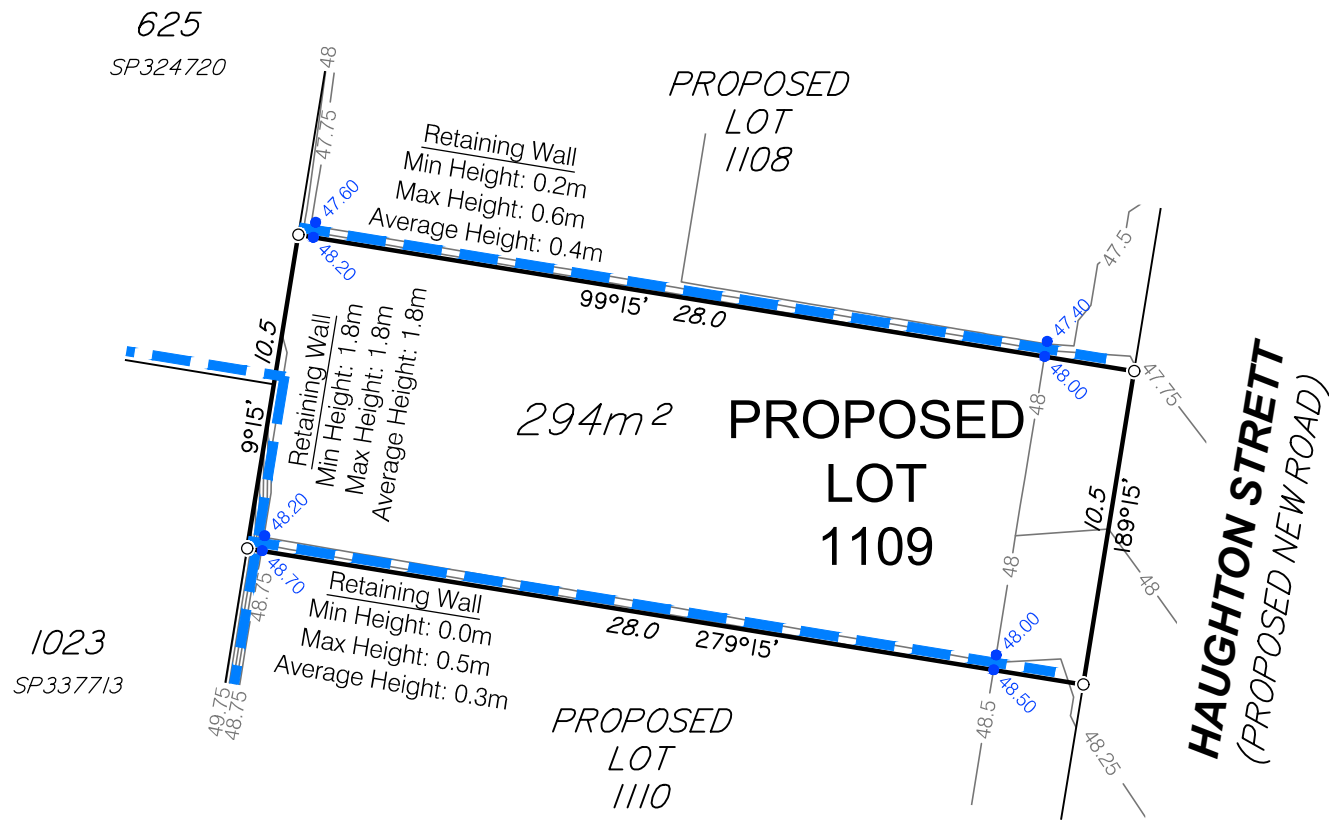
- 36 80

Page 10

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

1000000

UDN
BRSS7455 - 011 - 012 - 2



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1109

This plan shows:

Details of Proposed Lot 1109 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: - - - - -

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:
**PEBBLE CREEK
STAGE 11**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



LANDPARTNERS
surveyors and planners

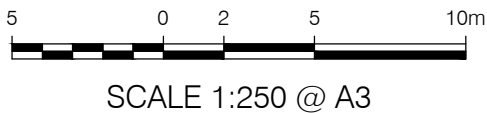


BSI ISO 9001 Quality Management System CERTIFIED
BSI ISO 45001 Occupational Health and Safety Management System CERTIFIED
CERTIFIED LOCATOR

Brisbane Office
Level 1
18 Little Cribb Street
Milton QLD 4064

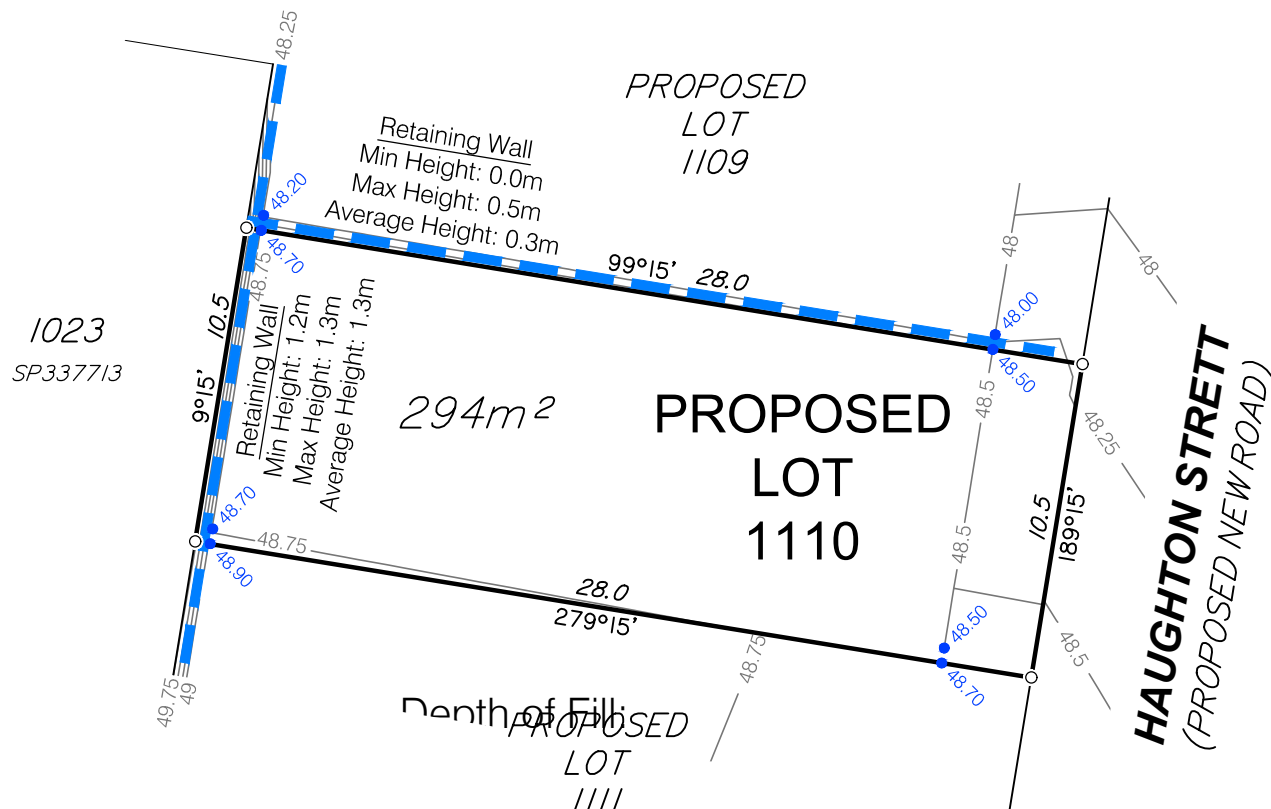
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QLD 4064

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w: www.landpartners.com.au

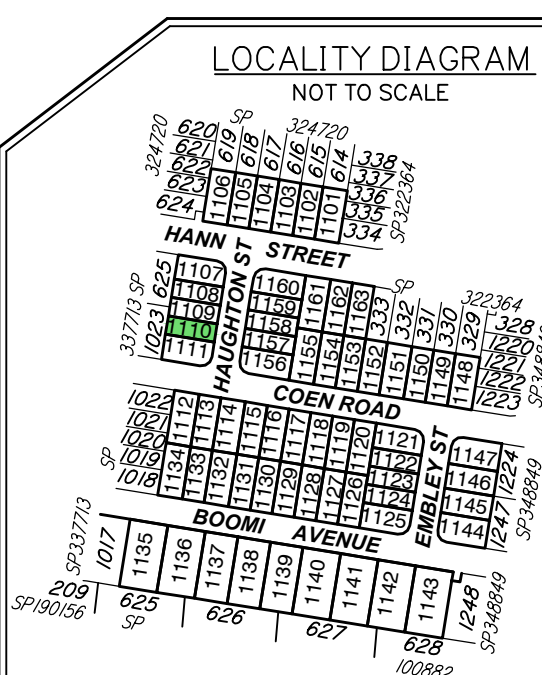


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COMPUTER FILE	BRSS7455-011-4-2		
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DRAWN	KDM	DATE	22/08/2024
CHECKED	RG	DATE	22/08/2024
APPROVED	RG	DATE	22/08/2024

UDN
BRSS7455 - 011 - 013 - 2



North of Fill
PROPOSED
LOT
1111



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1110

This plan shows:

Details of Proposed Lot 1110 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:
**PEBBLE CREEK
STAGE 11**

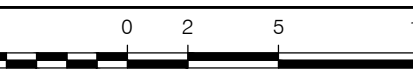
Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
Level 1
18 Little Cribb Street
Milton QLD 4064

PO Box 1399
Milton
QLD 4064

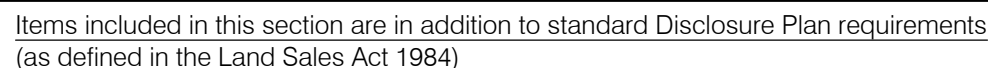
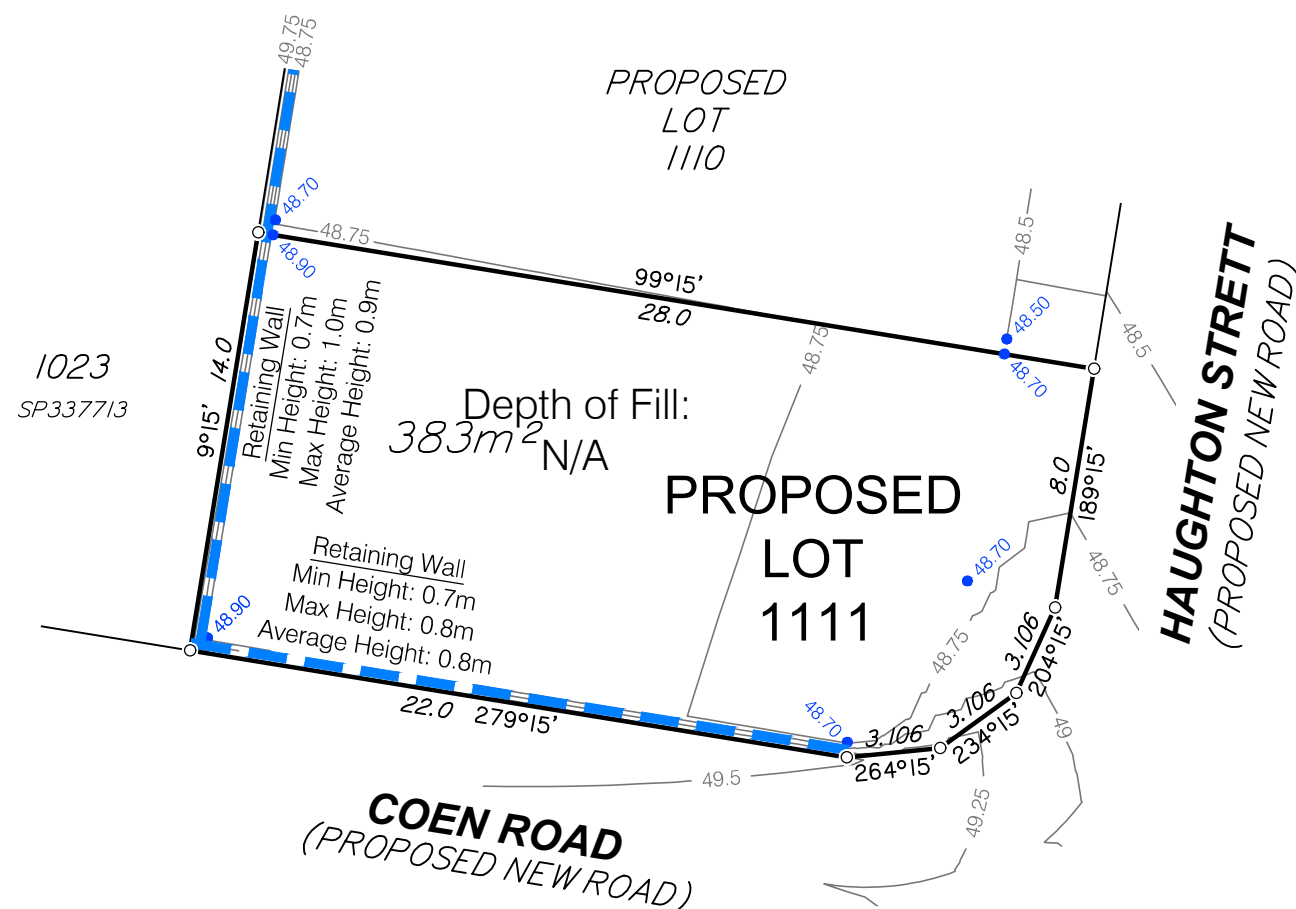
p: (07) 3842 1000
f: (07) 3842 1001
e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-2		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	22/08/2024
CHECKED	RG	DATE	22/08/2024
APPROVED	RG	DATE	22/08/2024

UDN
BRSS7455 - 011 - 014 - 2



- 36 80

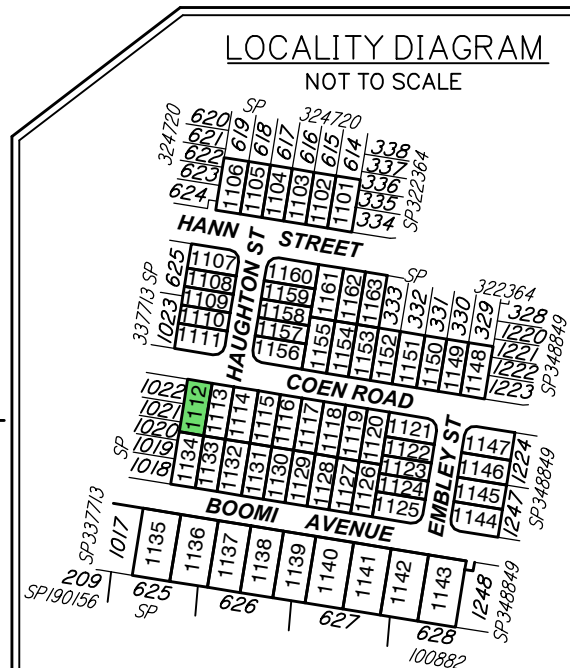
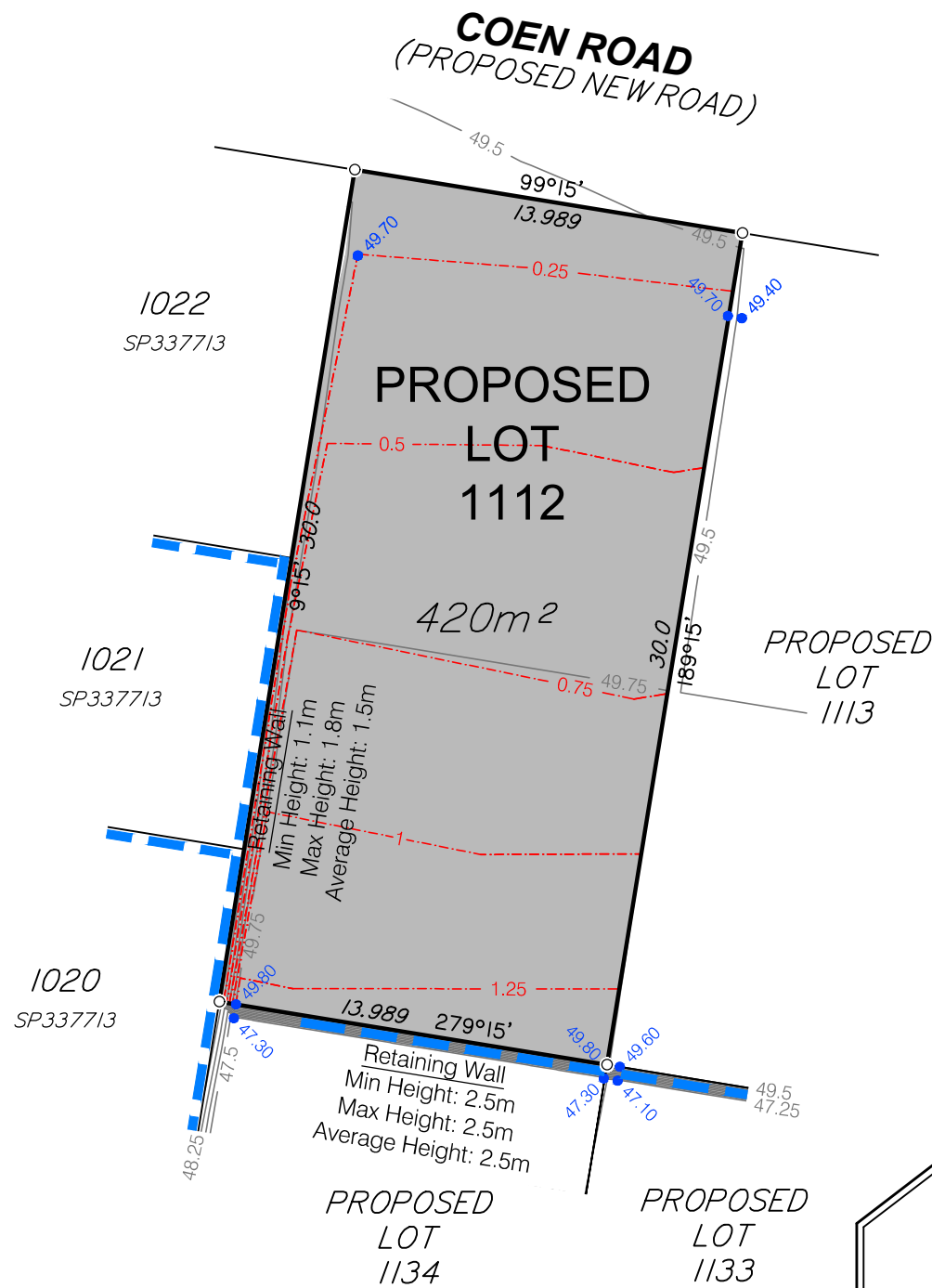
Page 10

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

[illegible]

114

UDN
BRSS7455 - 011 - 015 - 2



DISCLOSURE PLAN FOR PROPOSED LOT 1112

This plan shows:

Details of Proposed Lot 1112 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

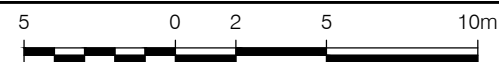
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064

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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG A	DATE	18/07/2024

UDN
BRSS7455 - 011 - 016 - 1

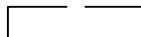
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

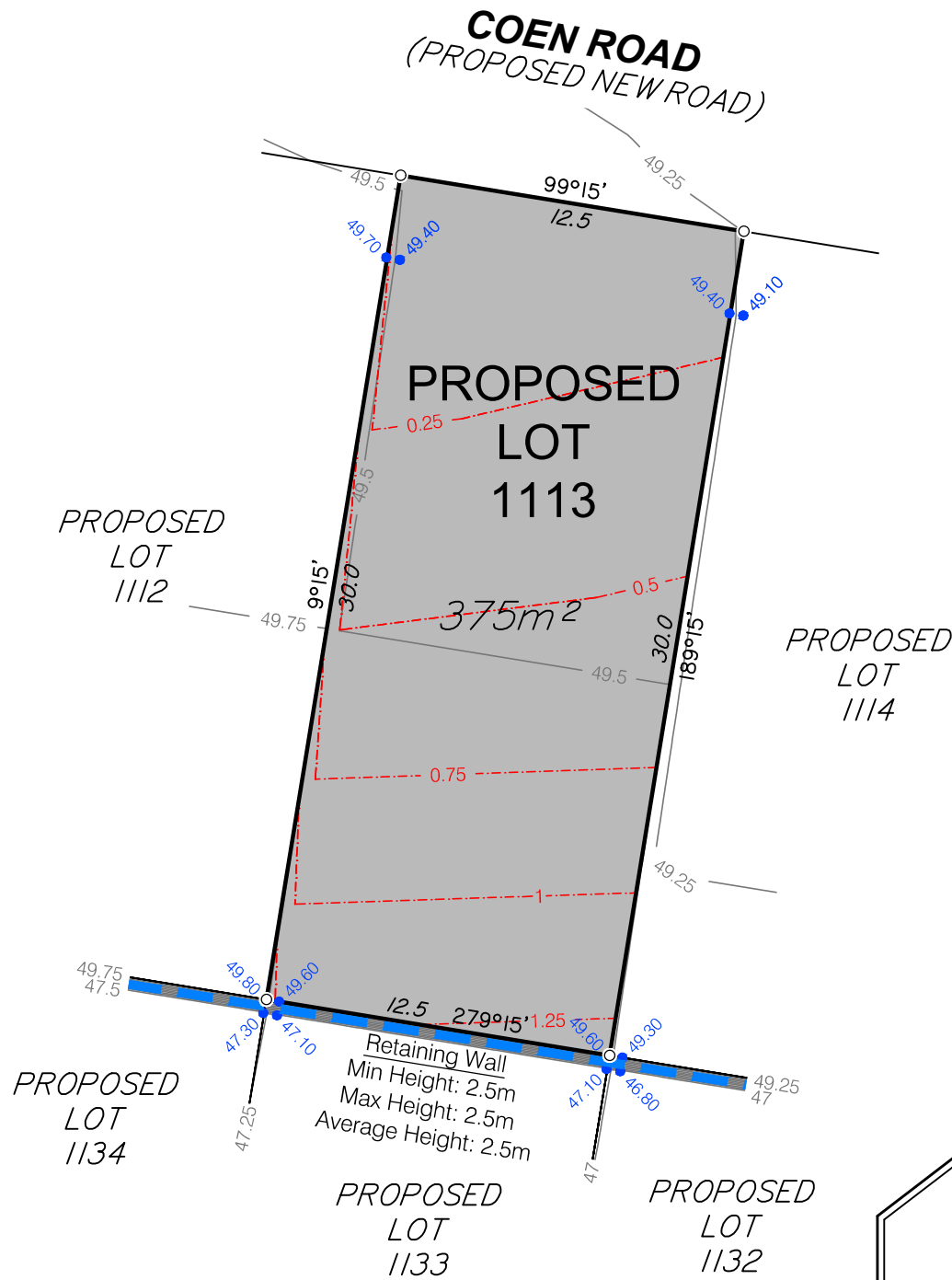
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1113

This plan shows:

Details of Proposed Lot 1113 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



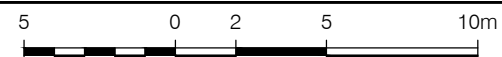
Brisbane Office
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18 Little Cribb Street
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PO Box 1399
Milton Qld 4064

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ISO 9001
Certified

ISO 45001
Certified



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 017 - 1

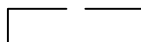
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

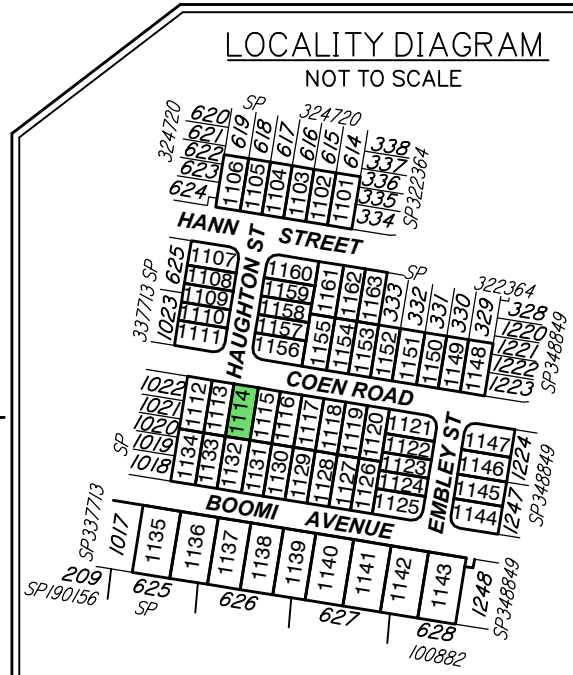
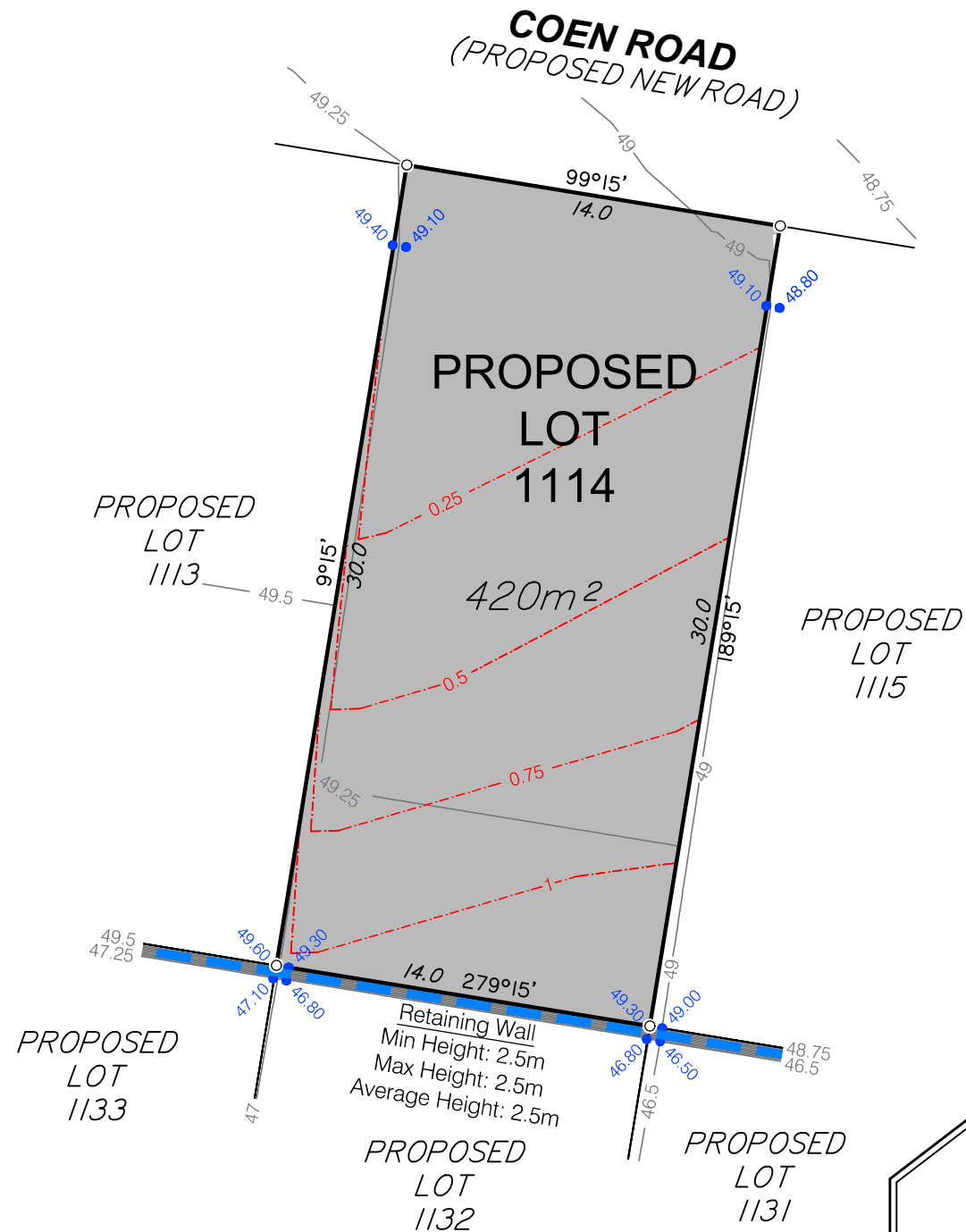
• 36.80

Easements are shown as:



NOTE:

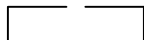
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL):
Easements are shown as:

• 36.80



NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1114

This plan shows:

Details of Proposed Lot 1114 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:



The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:



Fill ranges in depth from 0.0m to 1.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

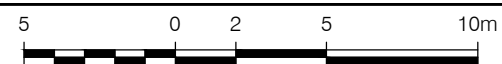
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

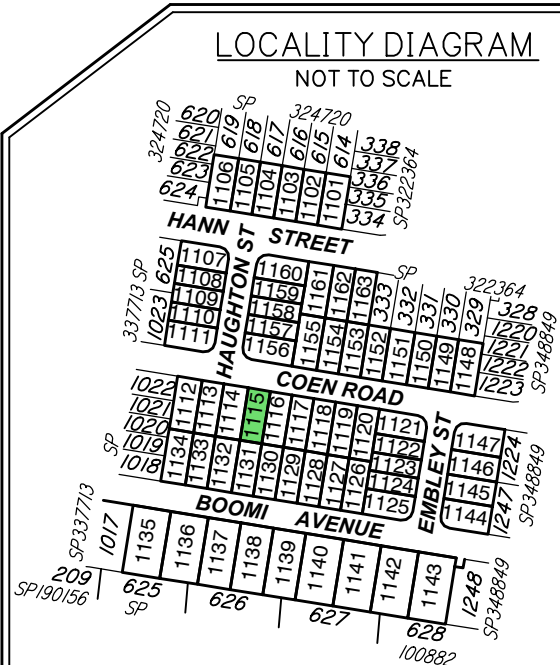
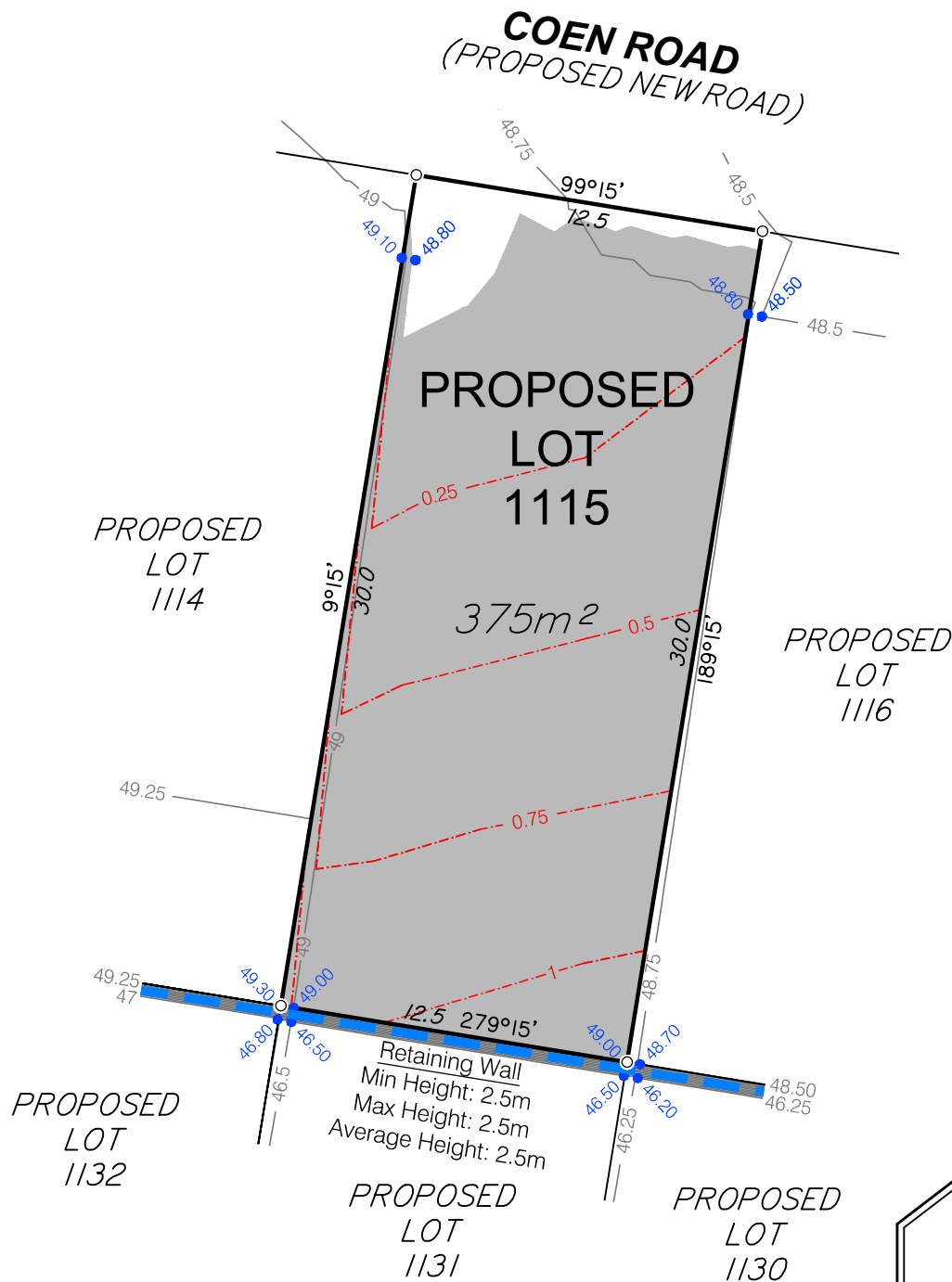
p: (07) 3842 1000
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 018 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1115

This plan shows:

Details of Proposed Lot 1115 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



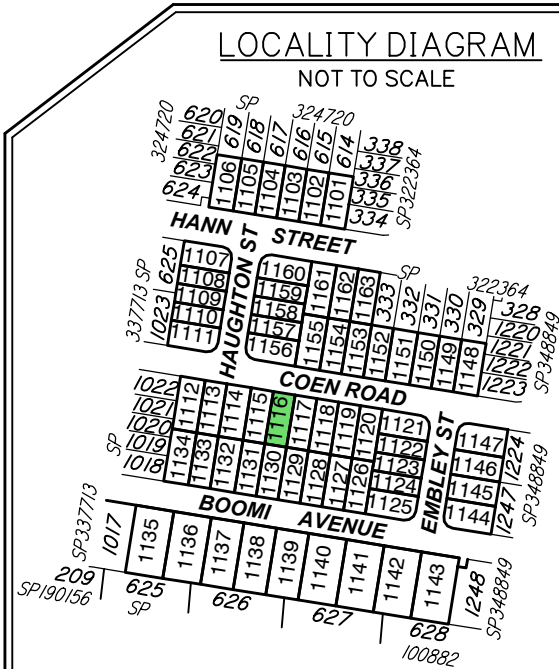
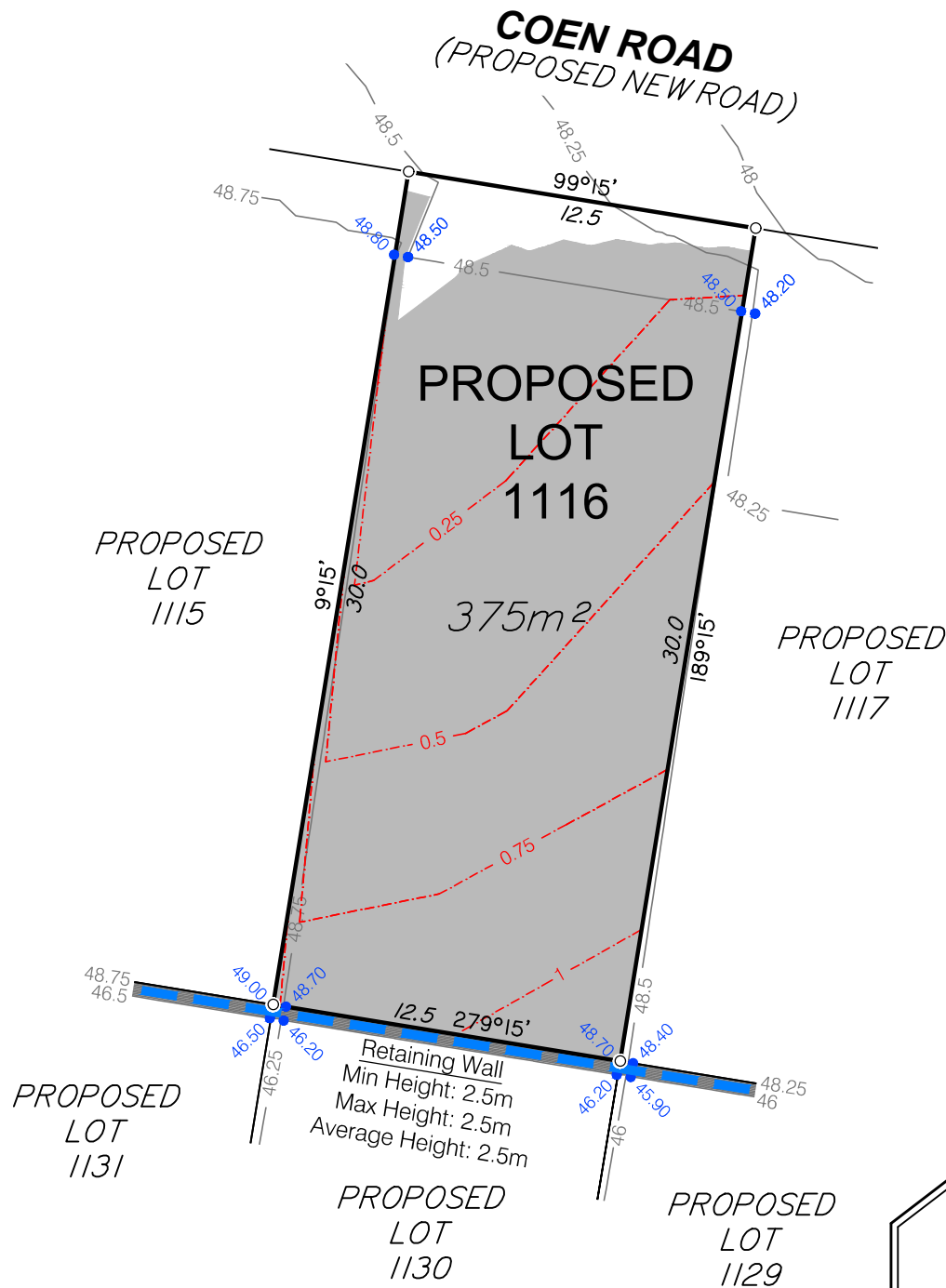
Brisbane Office
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Milton Qld 4064
PO Box 1399
Milton Qld 4064
p: (07) 3842 1000
e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 019 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1116

This plan shows:

Details of Proposed Lot 1116 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 020 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

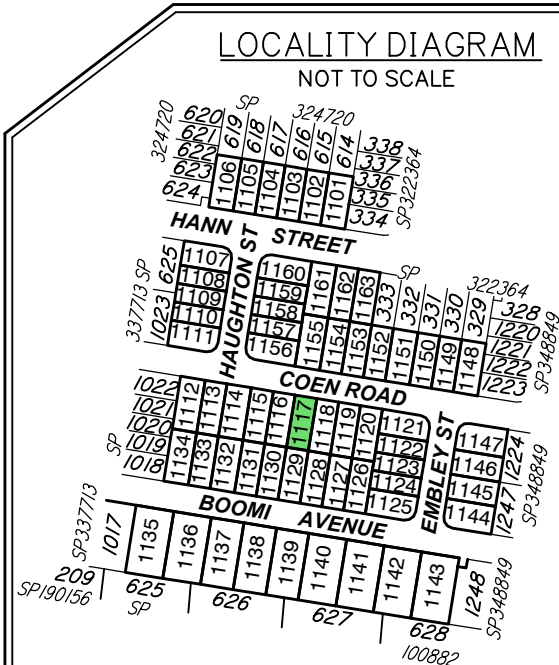
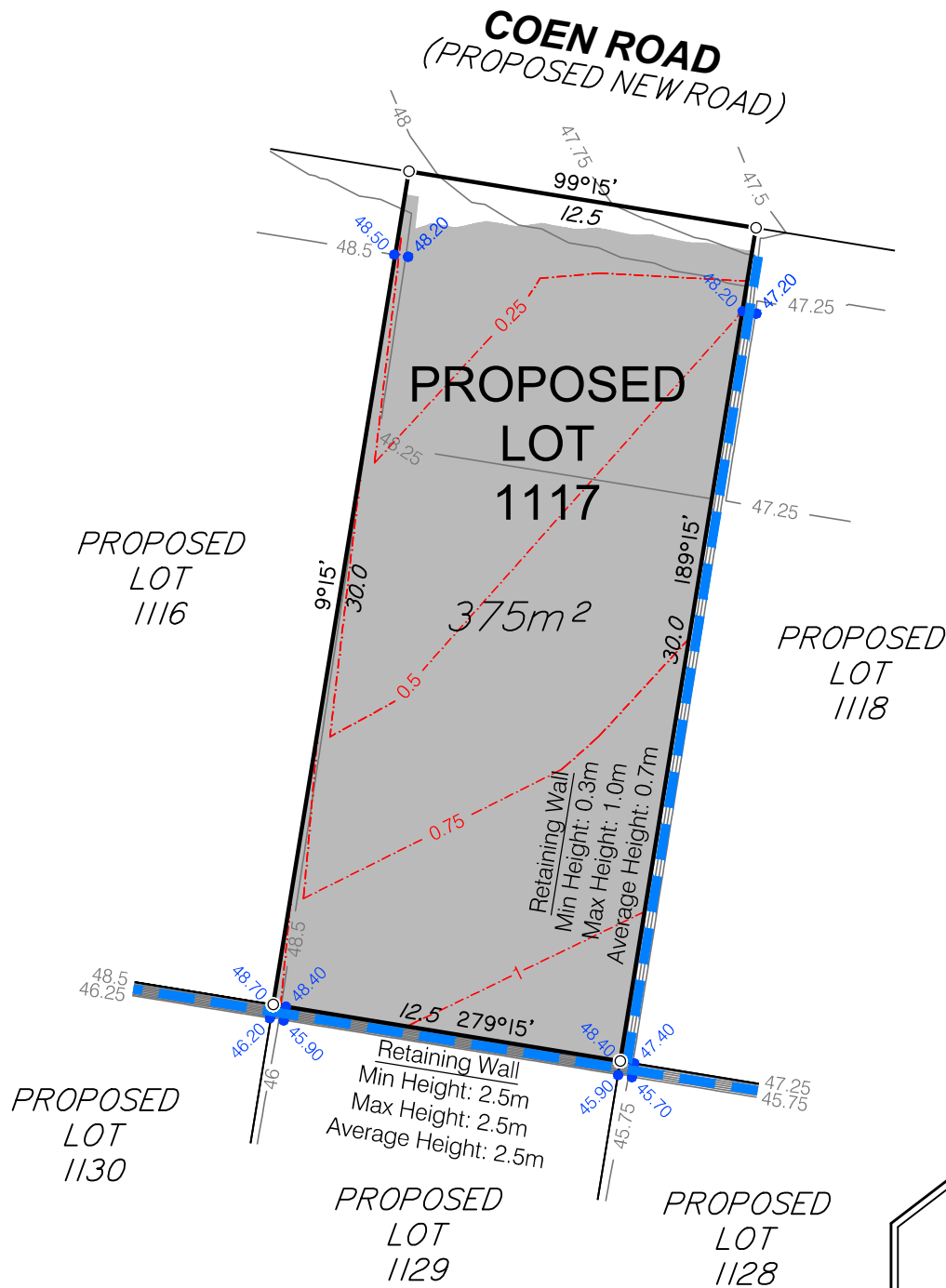
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1117

This plan shows:

Details of Proposed Lot 1117 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

PEBBLE CREEK
STAGE 11

Client:

ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD

LANDPARTNERS
surveyors and planners

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w: www.landpartners.com.au

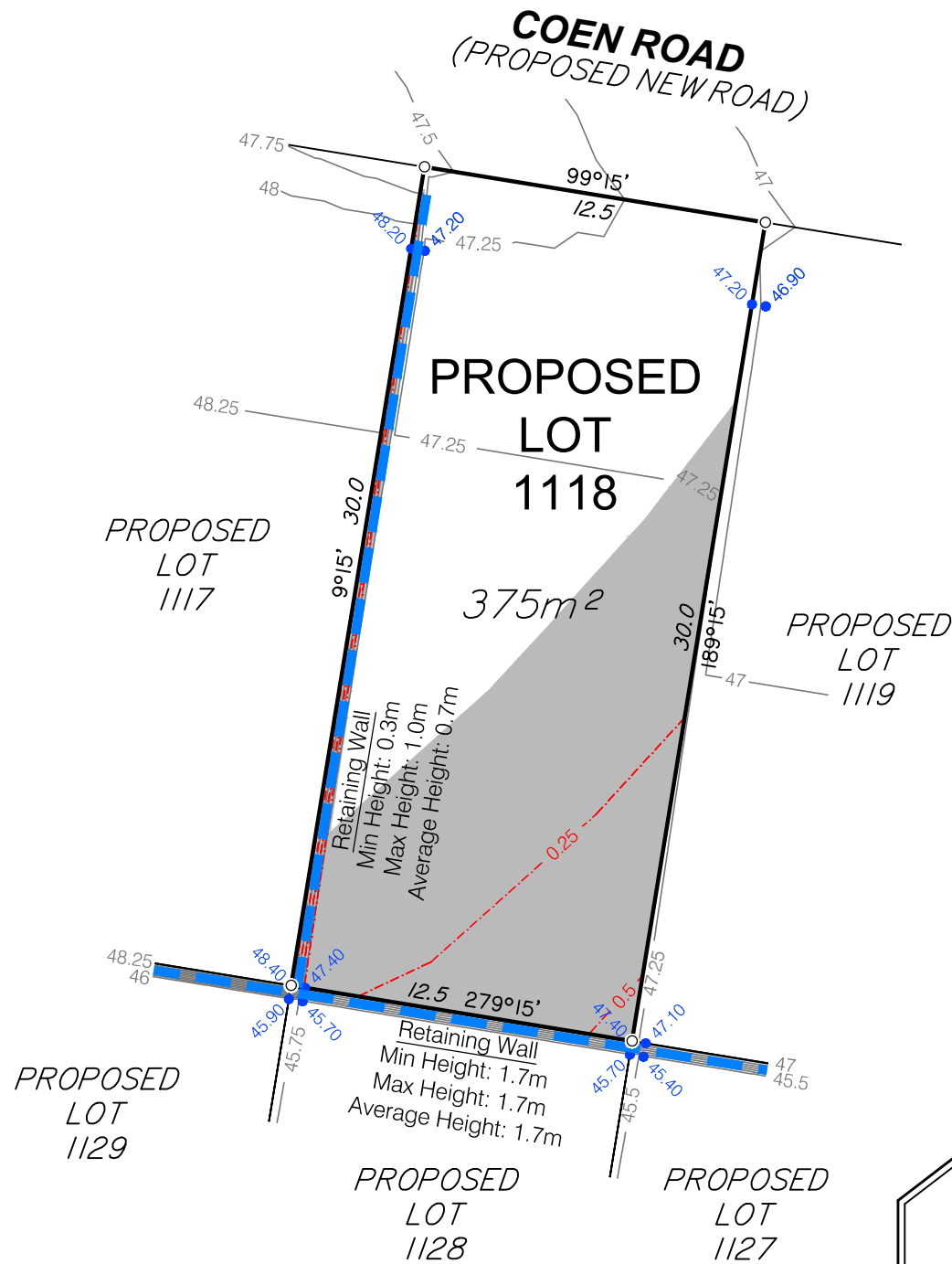
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LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024
UDN	BRSS7455 - 011 - 021 - 1		

SCALE 1:250 @ A3

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1118

This plan shows:

Details of Proposed Lot 1118 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

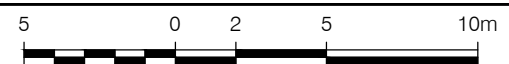
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064

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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG A	DATE	18/07/2024

UDN
BRSS7455 - 011 - 022 - 1

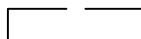
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

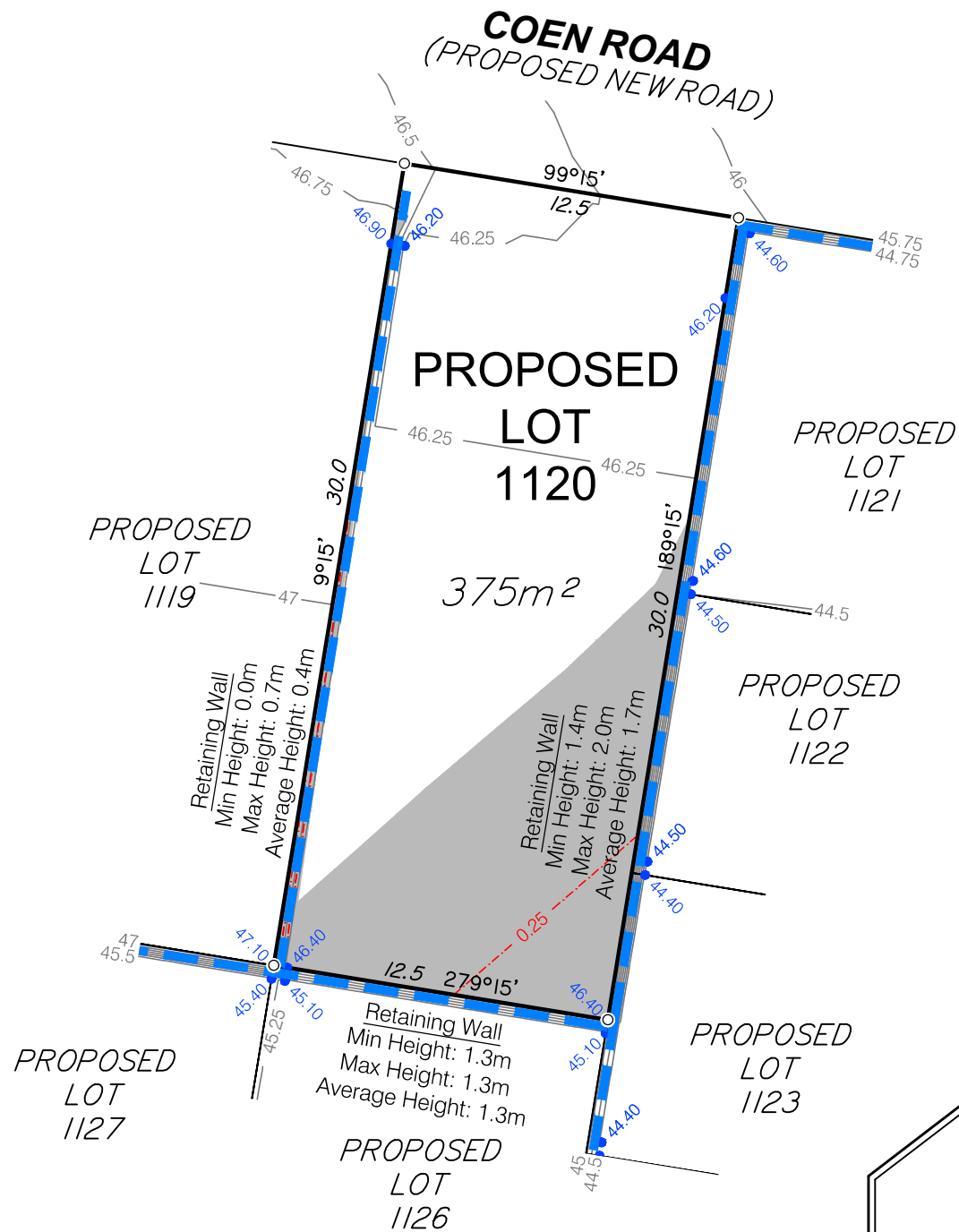
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1120

This plan shows:

Details of Proposed Lot 1120 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

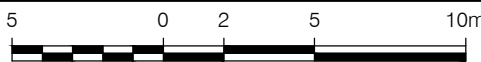
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064

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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 024 - 1

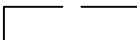
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

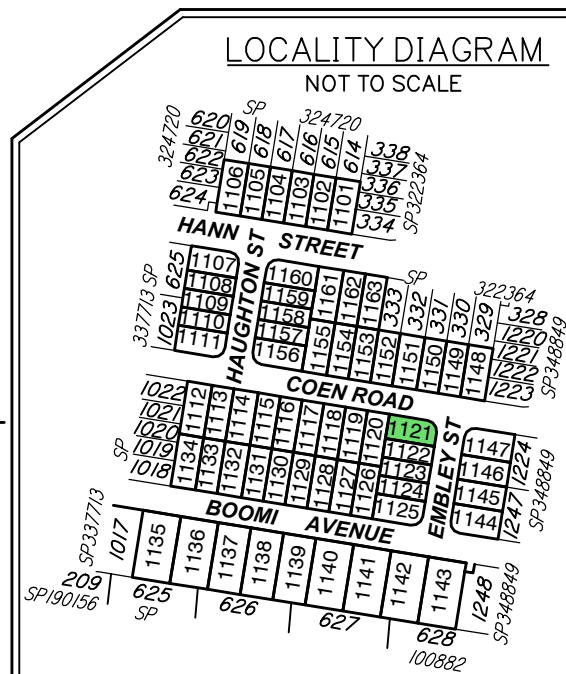
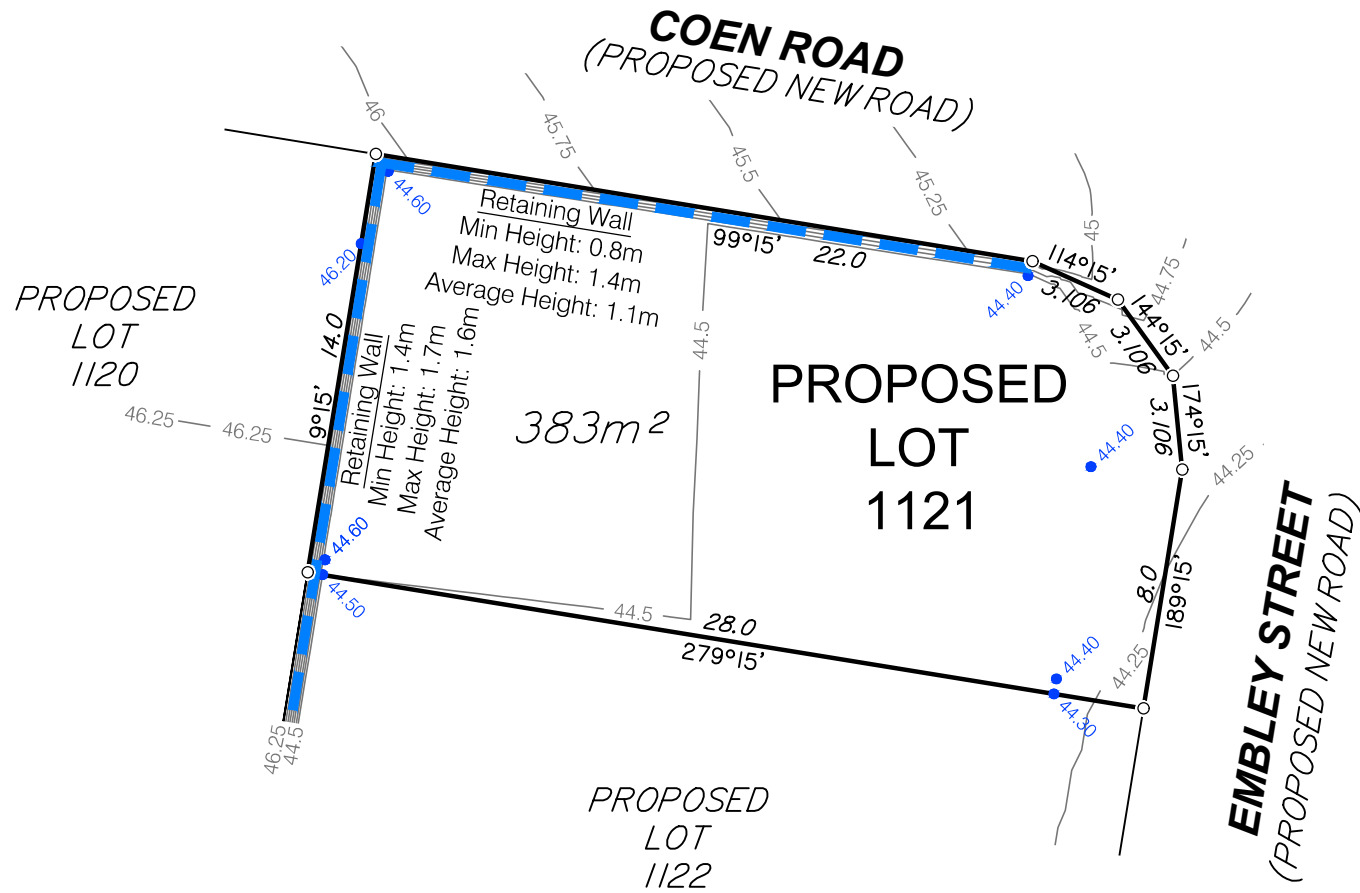
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1121

This plan shows:

Details of Proposed Lot 1121 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to Less than 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 025 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

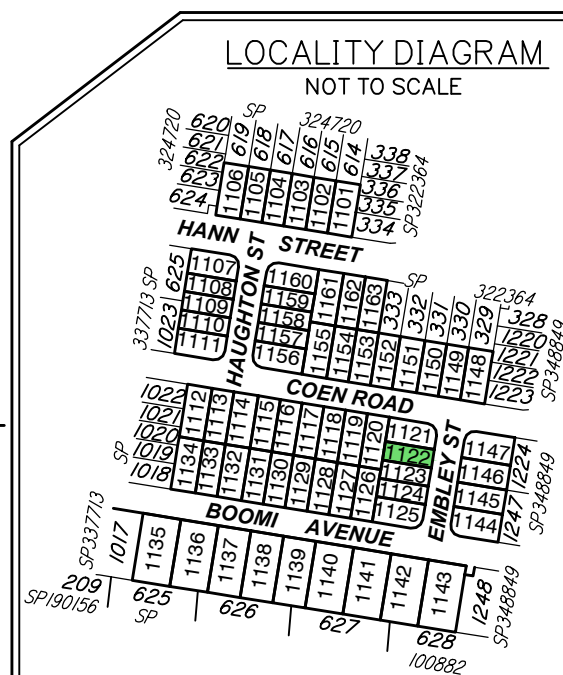
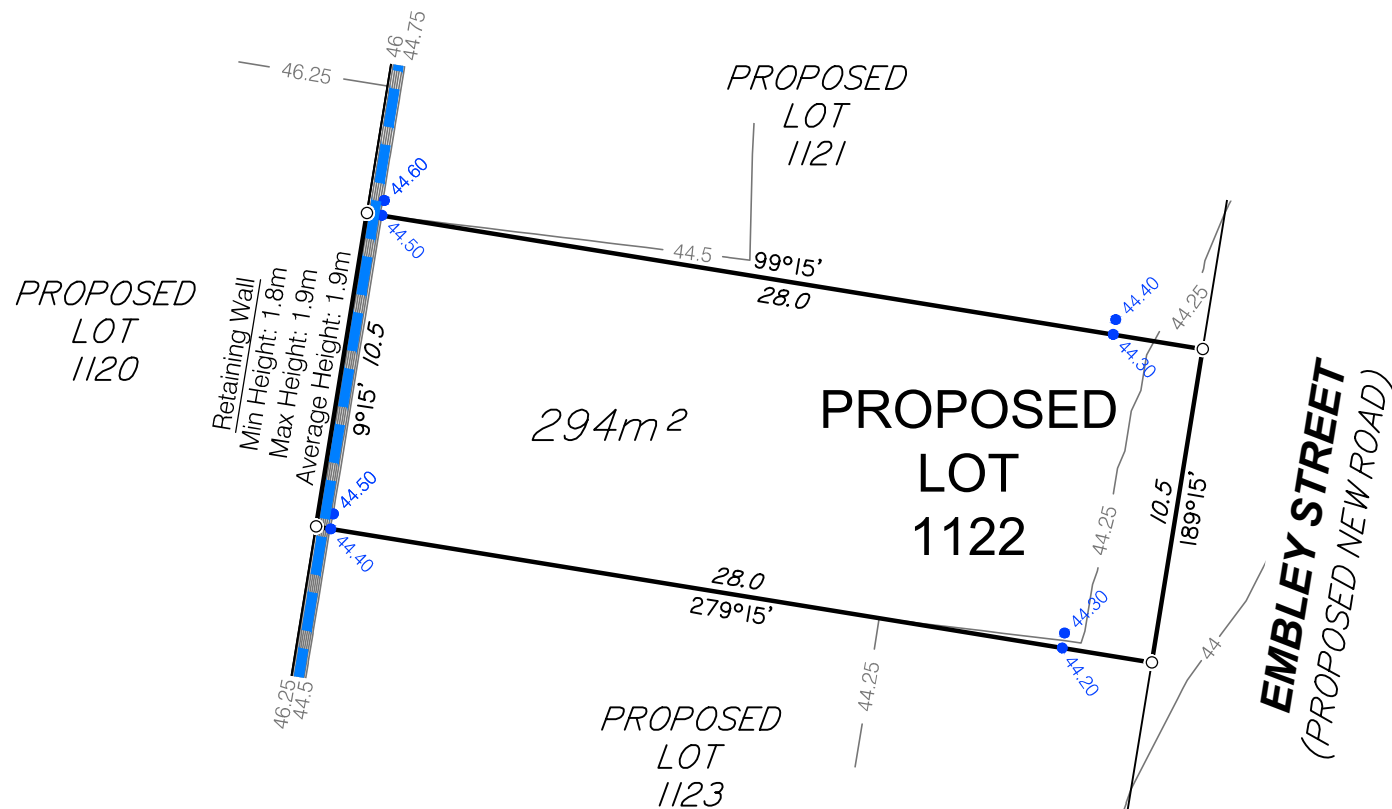
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1122

This plan shows:

Details of Proposed Lot 1122 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

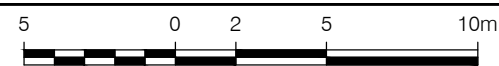
**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



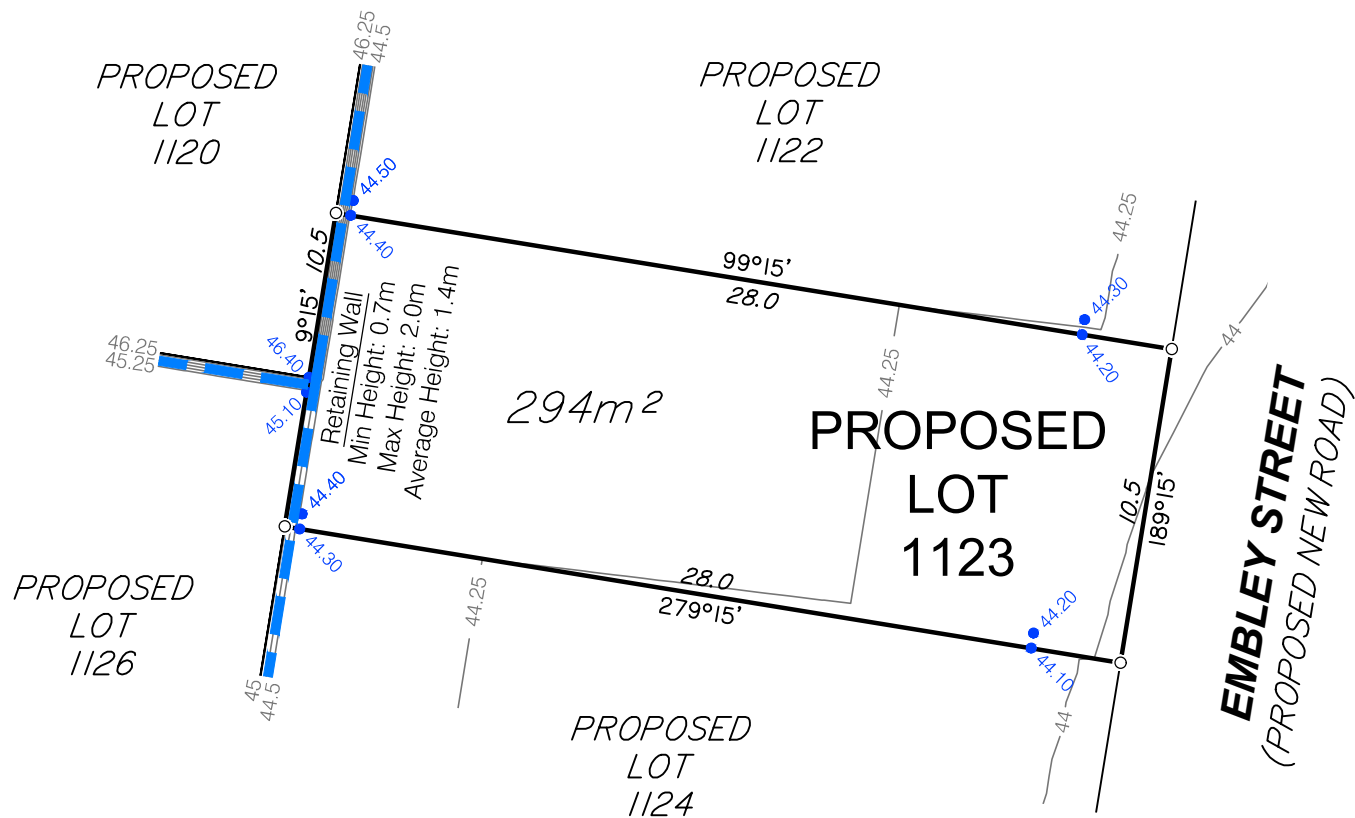
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Milton Qld 4064
p: (07) 3842 1000
e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 026 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1123

This plan shows:

Details of Proposed Lot 1123 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

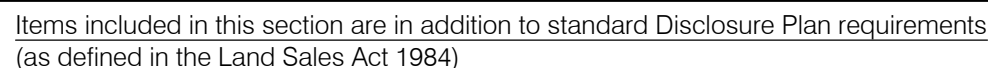
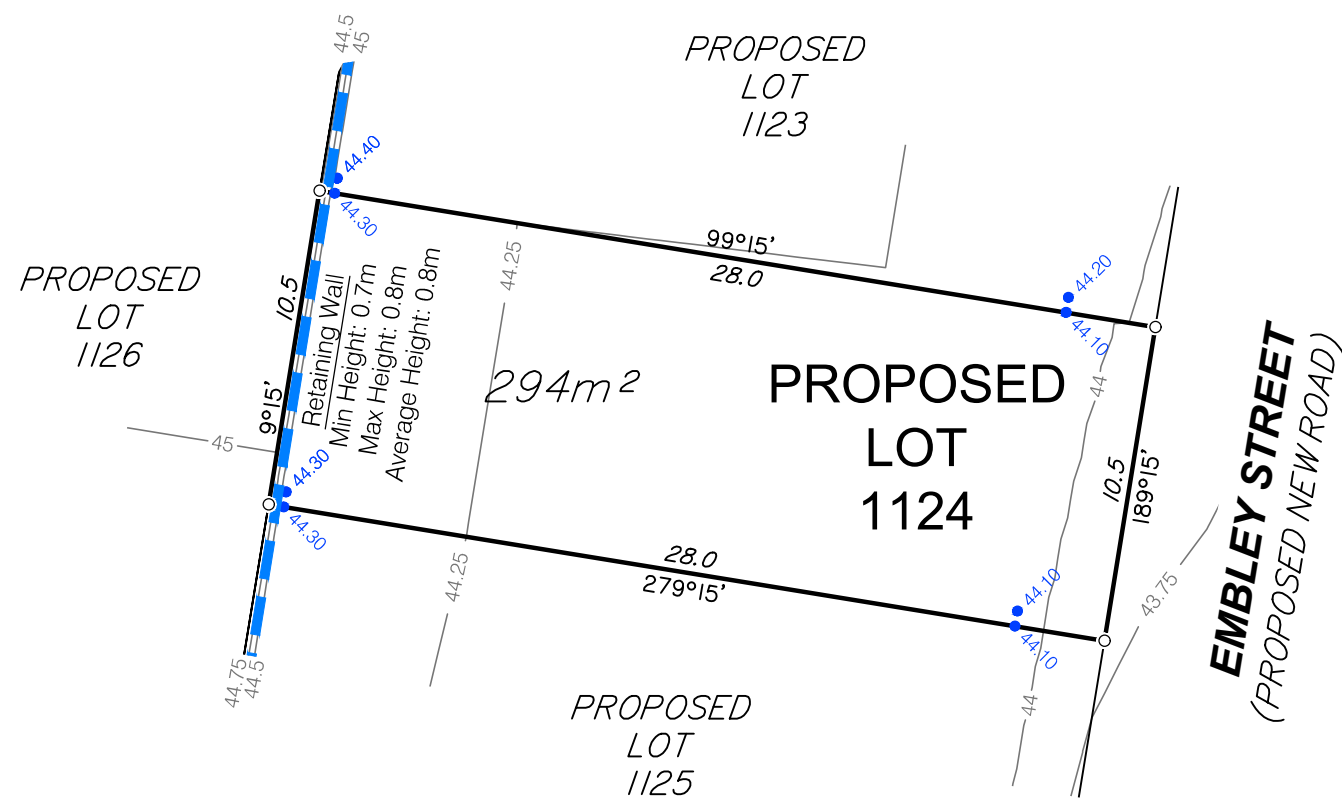
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 027 - 1



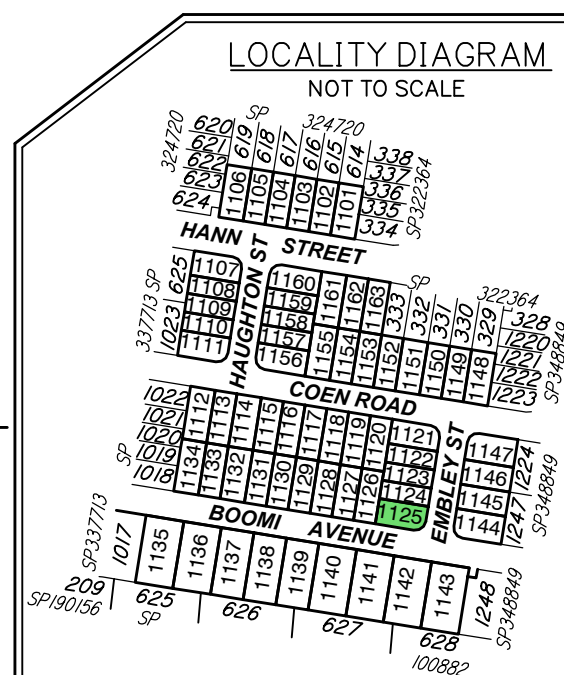
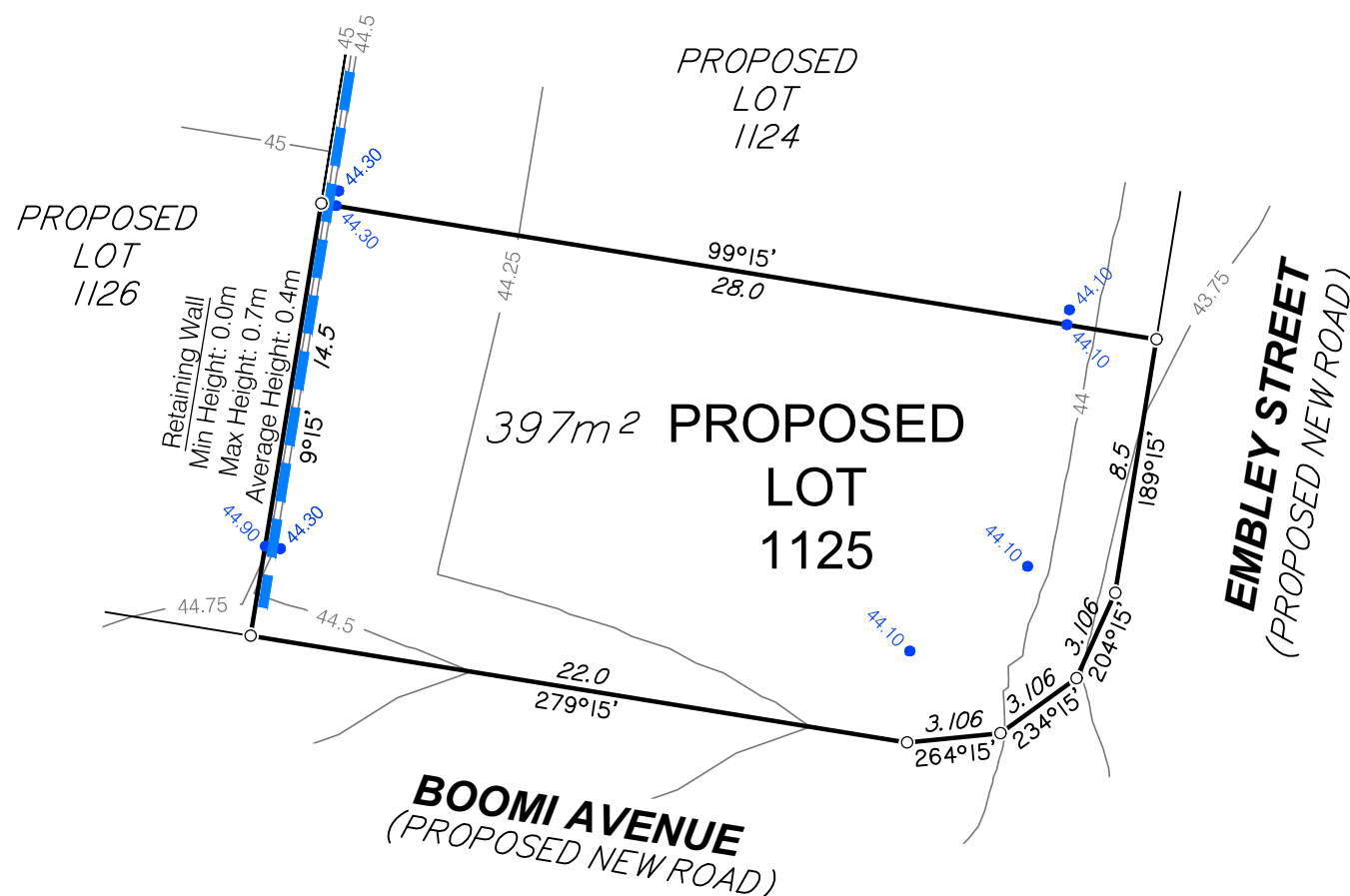
- 36.80

Page 10 of 10

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

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UDN
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Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

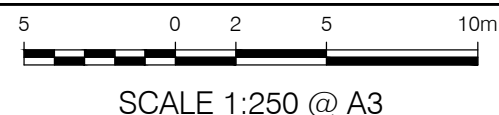
NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

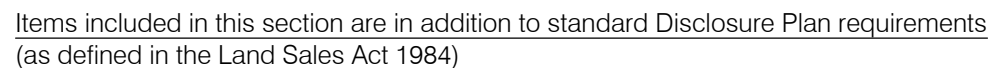
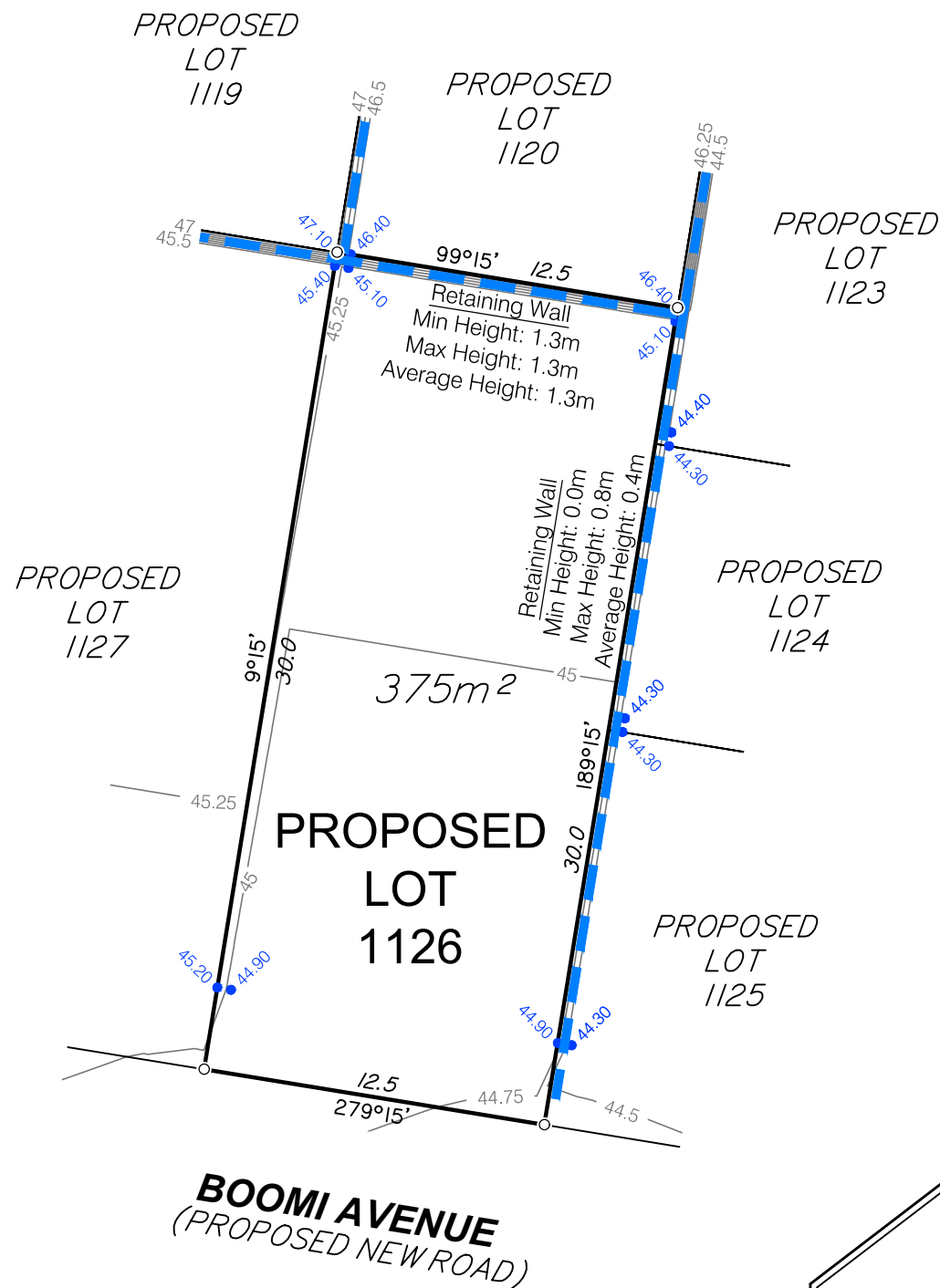
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

PEBBLE CREEK STAGE 11

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGH	DATE	18/07/2024
UDN			
BRSS7455 - 011 - 029 - 1			

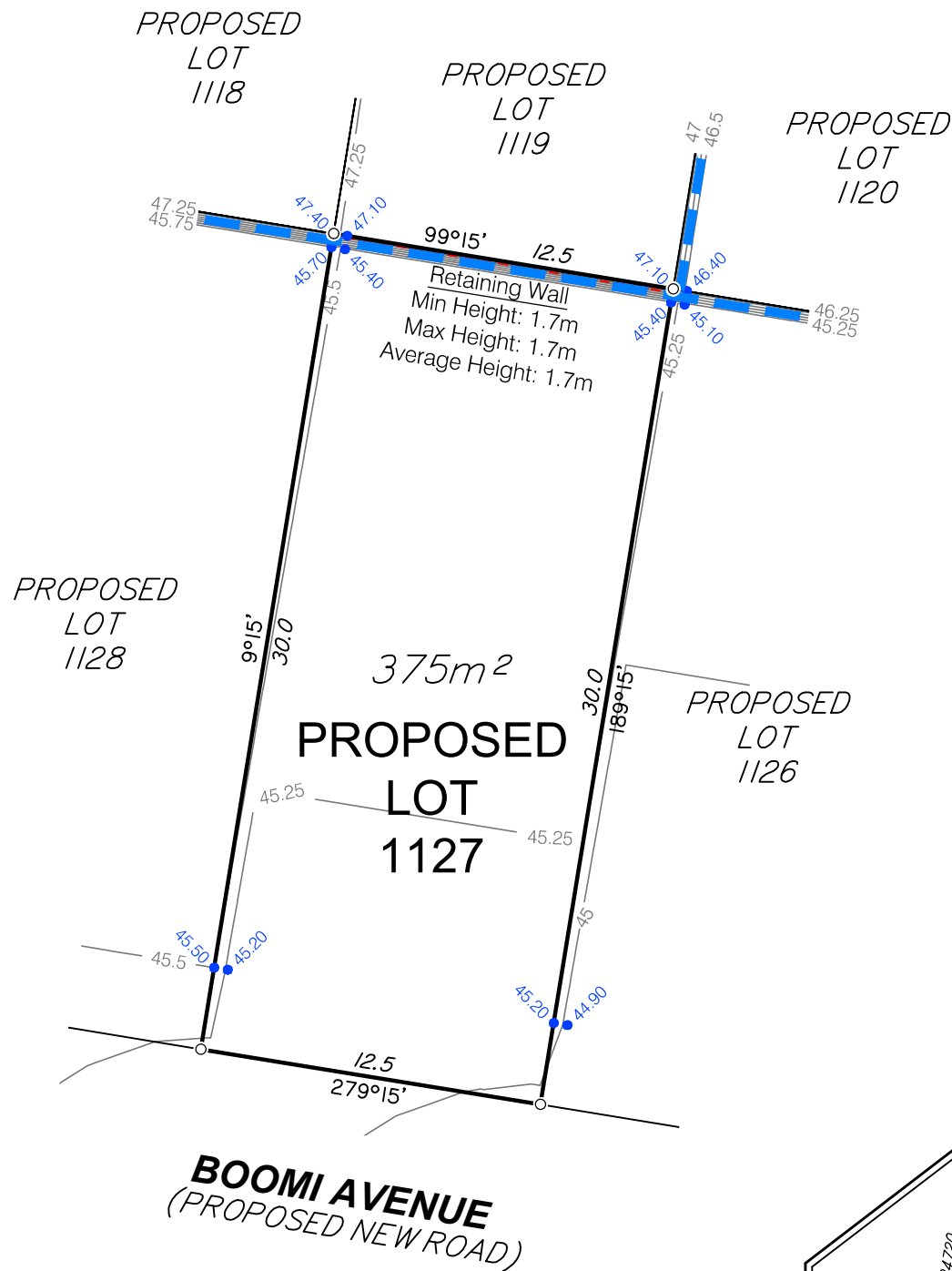


- 36.80

Page 10 of 10

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

UDN
BRSS7455 - 011 - 030 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1127

This plan shows:

Details of Proposed Lot 1127 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 0.7m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 031 - 1

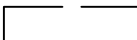
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

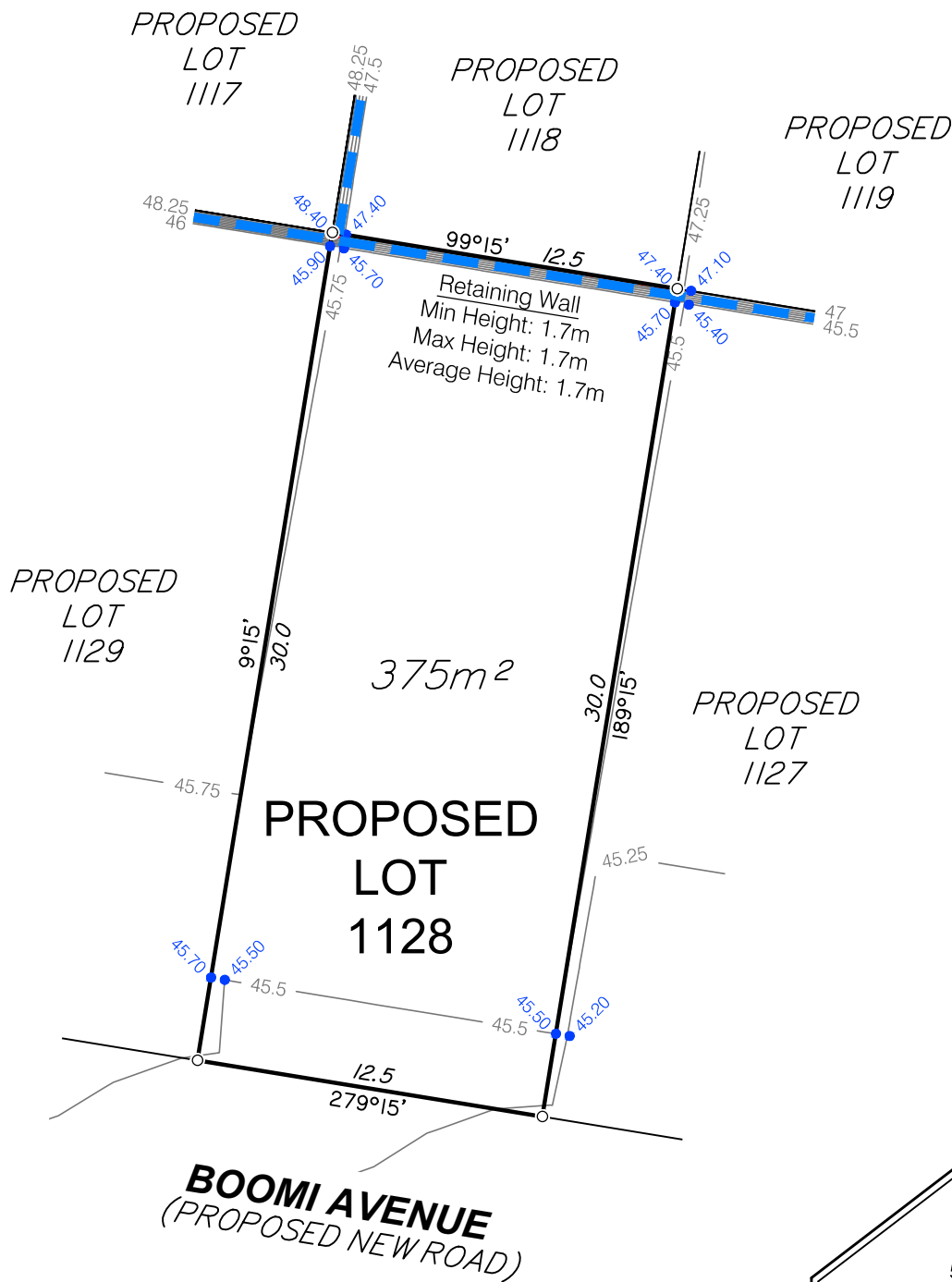
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1128

This plan shows:

Details of Proposed Lot 1128 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

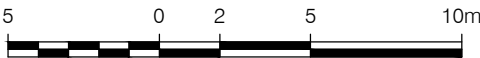
Client:

**ORCHARD (PEBBLE CREEK)
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 032 - 1

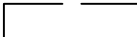
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

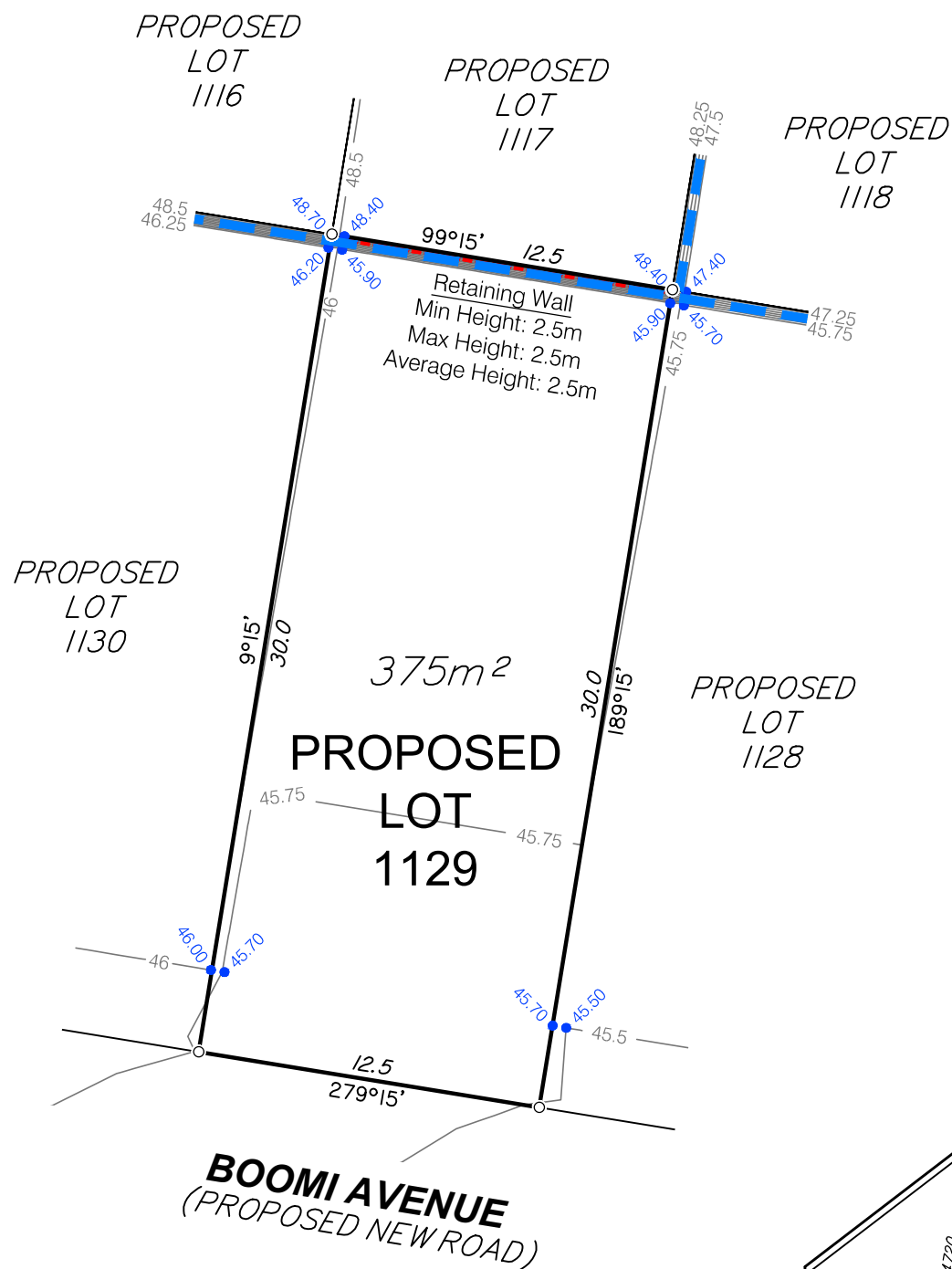
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1129

This plan shows:

Details of Proposed Lot 1129 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — —

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

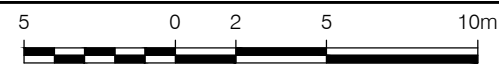
Client:

**ORCHARD (PEBBLE CREEK)
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 033 - 1

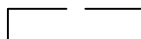
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

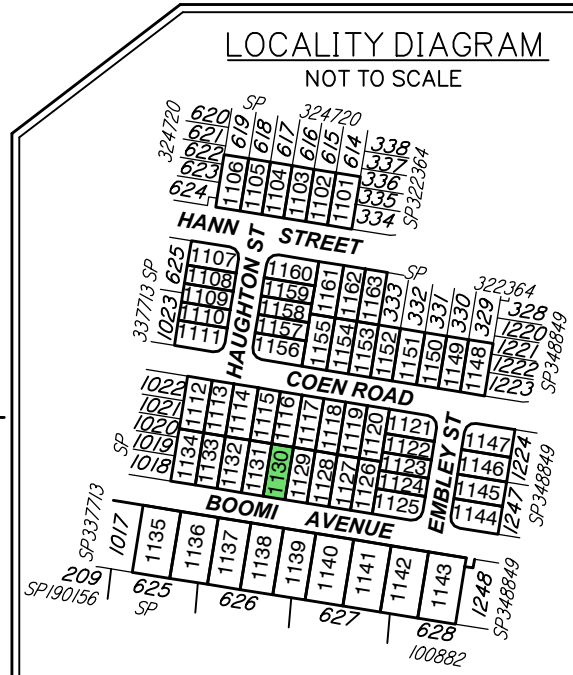
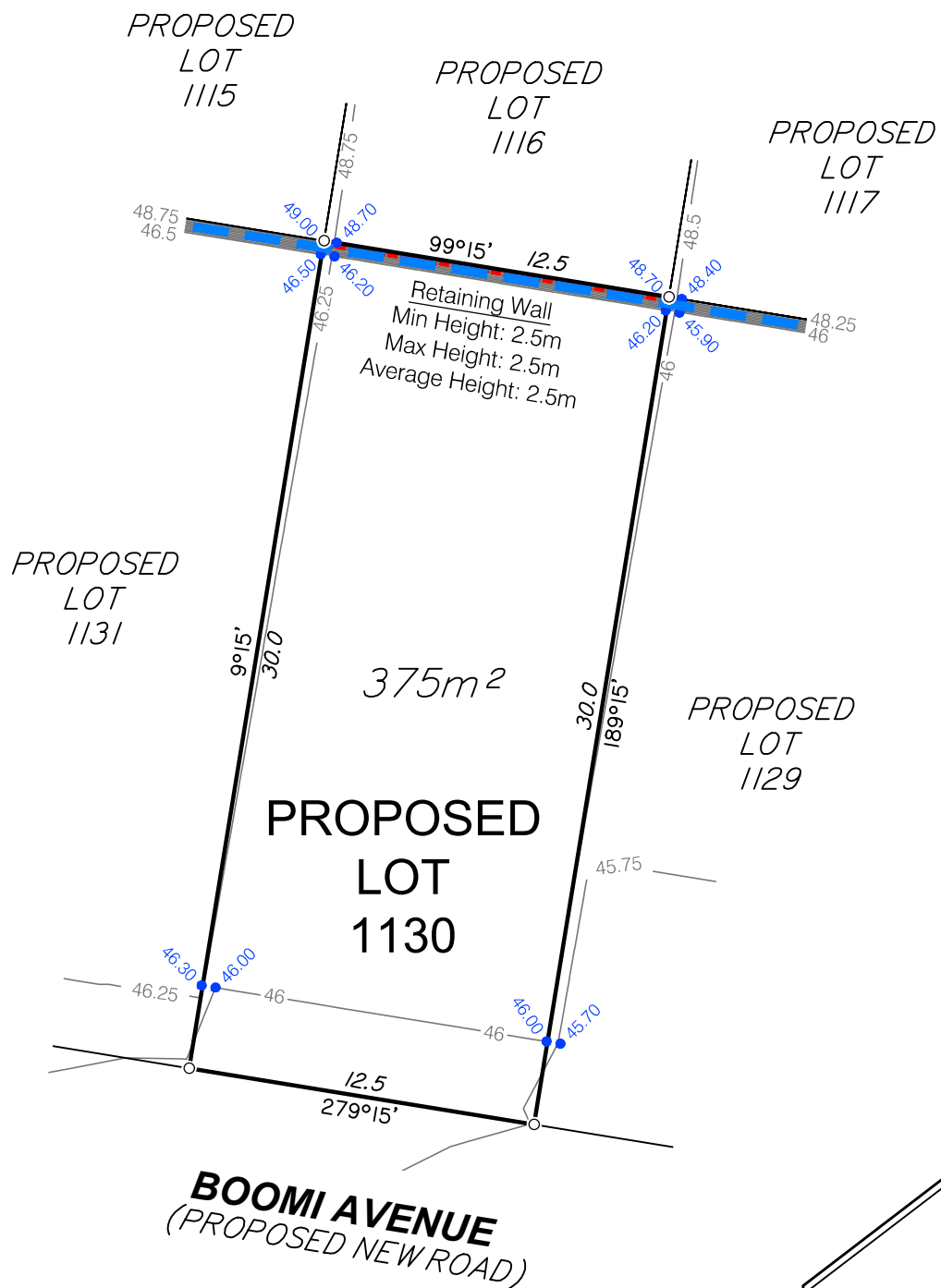
• 36.80

Easements are shown as:



NOTE:

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Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL):
Easements are shown as:

• 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1130

This plan shows:

Details of Proposed Lot 1130 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

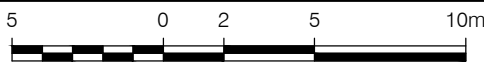
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064

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w: www.landpartners.com.au



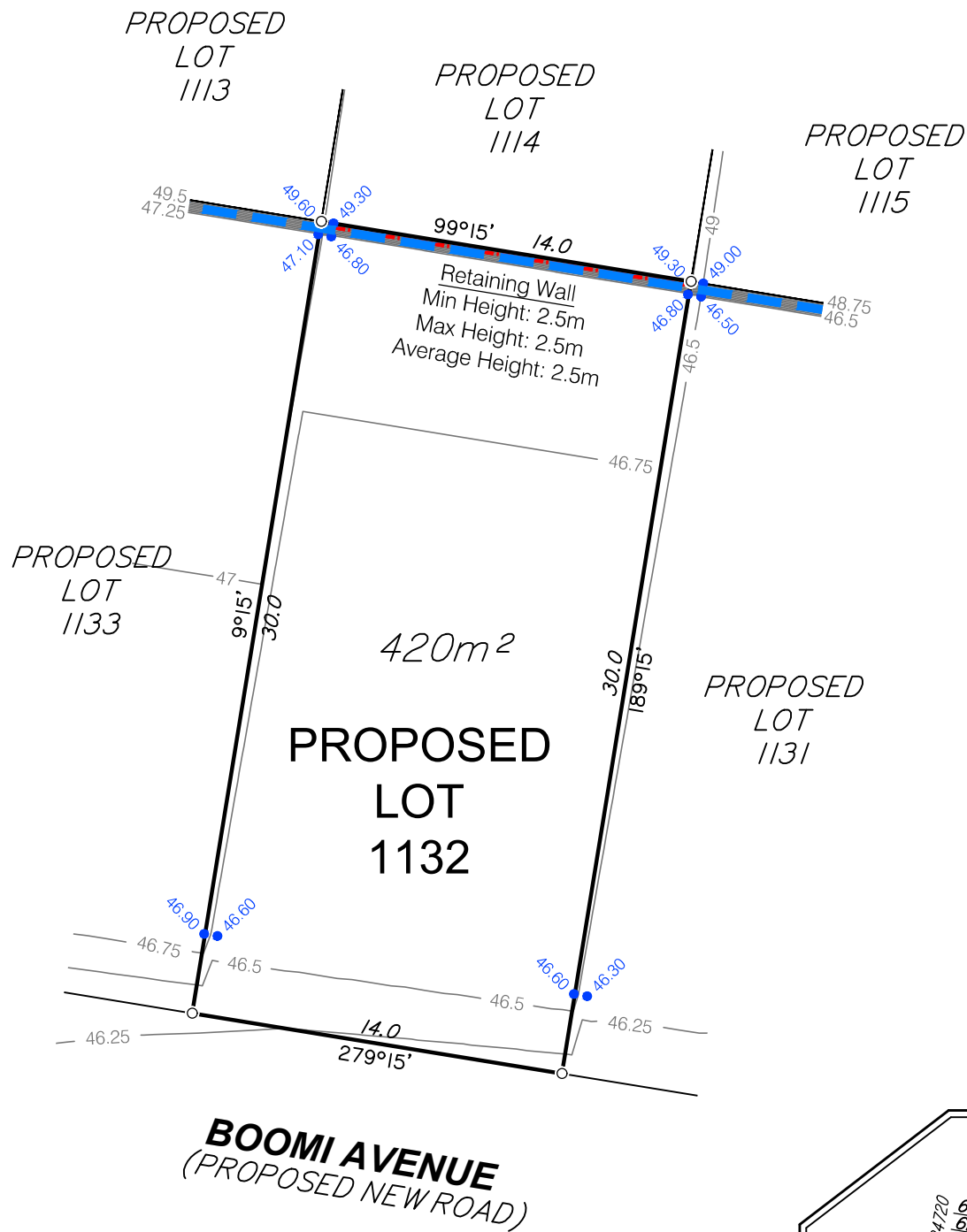
SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 034 - 1



Page 10



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1132

This plan shows:

Details of Proposed Lot 1132 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

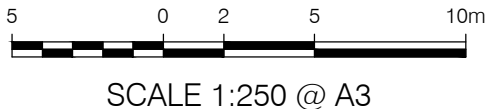
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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surveyors and planners

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Milton Qld 4064

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e: info@landpartners.com.au
w: www.landpartners.com.au



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 036 - 1

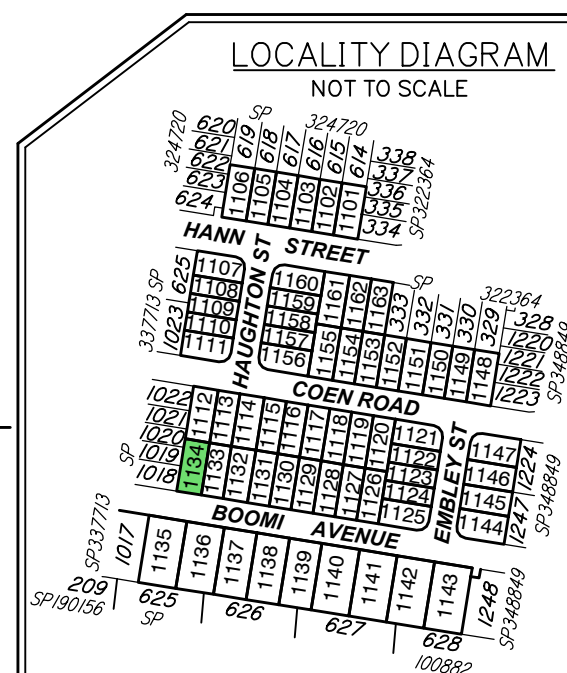
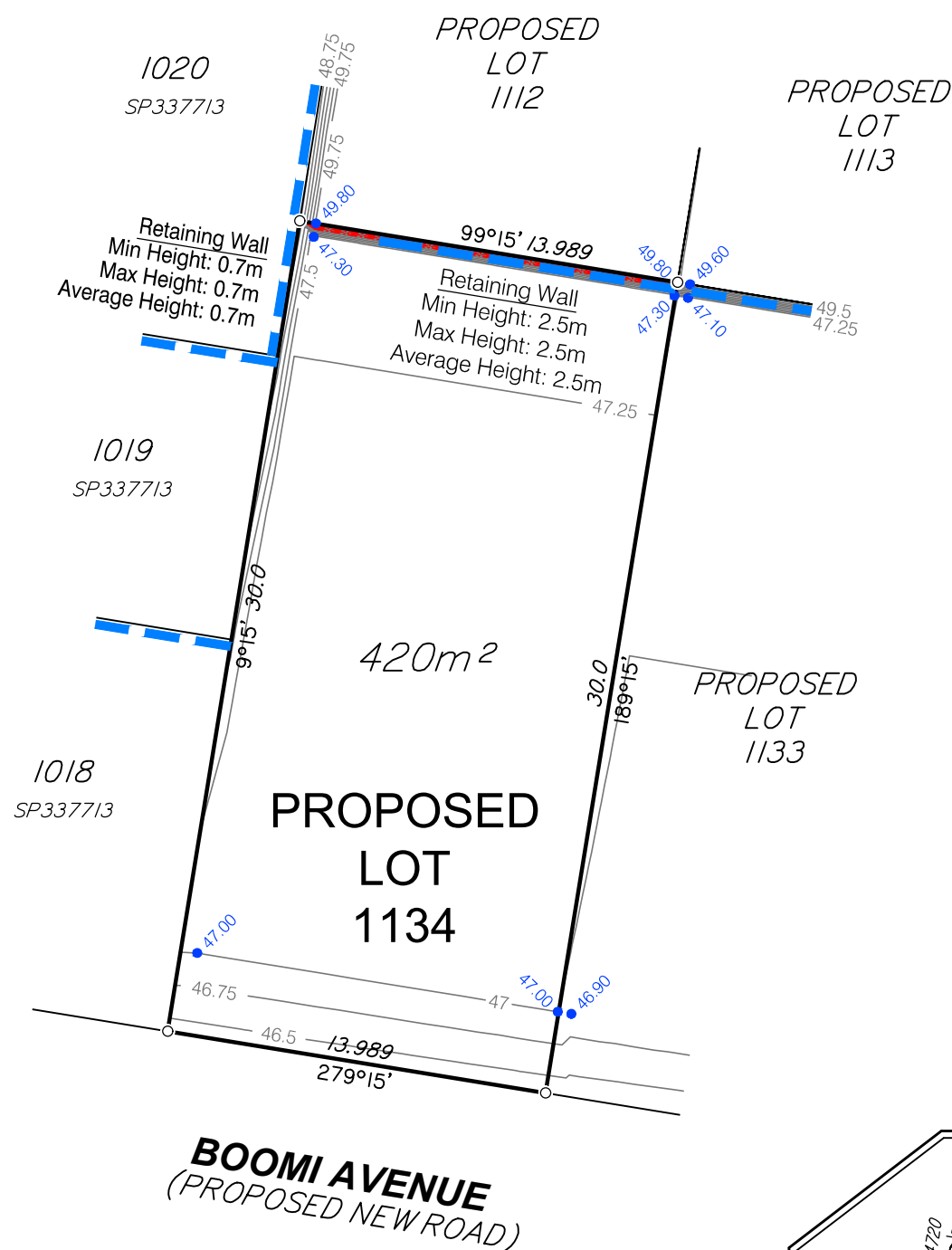


Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

UDN
BRSS7455 - 011 - 037 - 1



Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - · - 0.25 - · -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

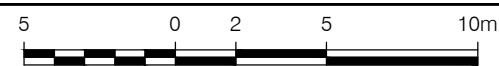
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

PEBBLE CREEK STAGE 11

Client:

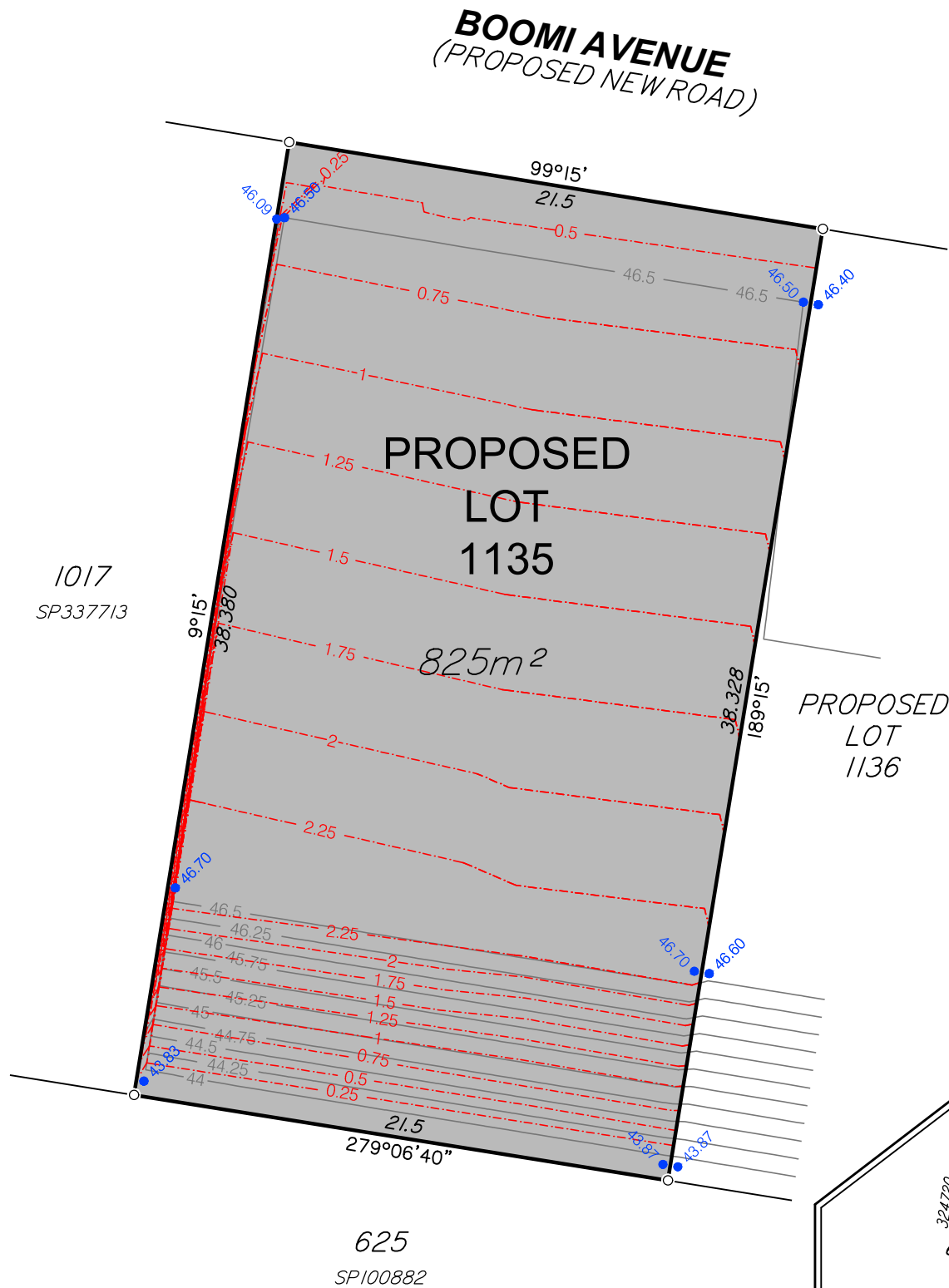
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 038 - 1



DISCLOSURE PLAN FOR PROPOSED LOT 1135

This plan shows:

Details of Proposed Lot 1135 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 039 - 1

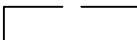
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

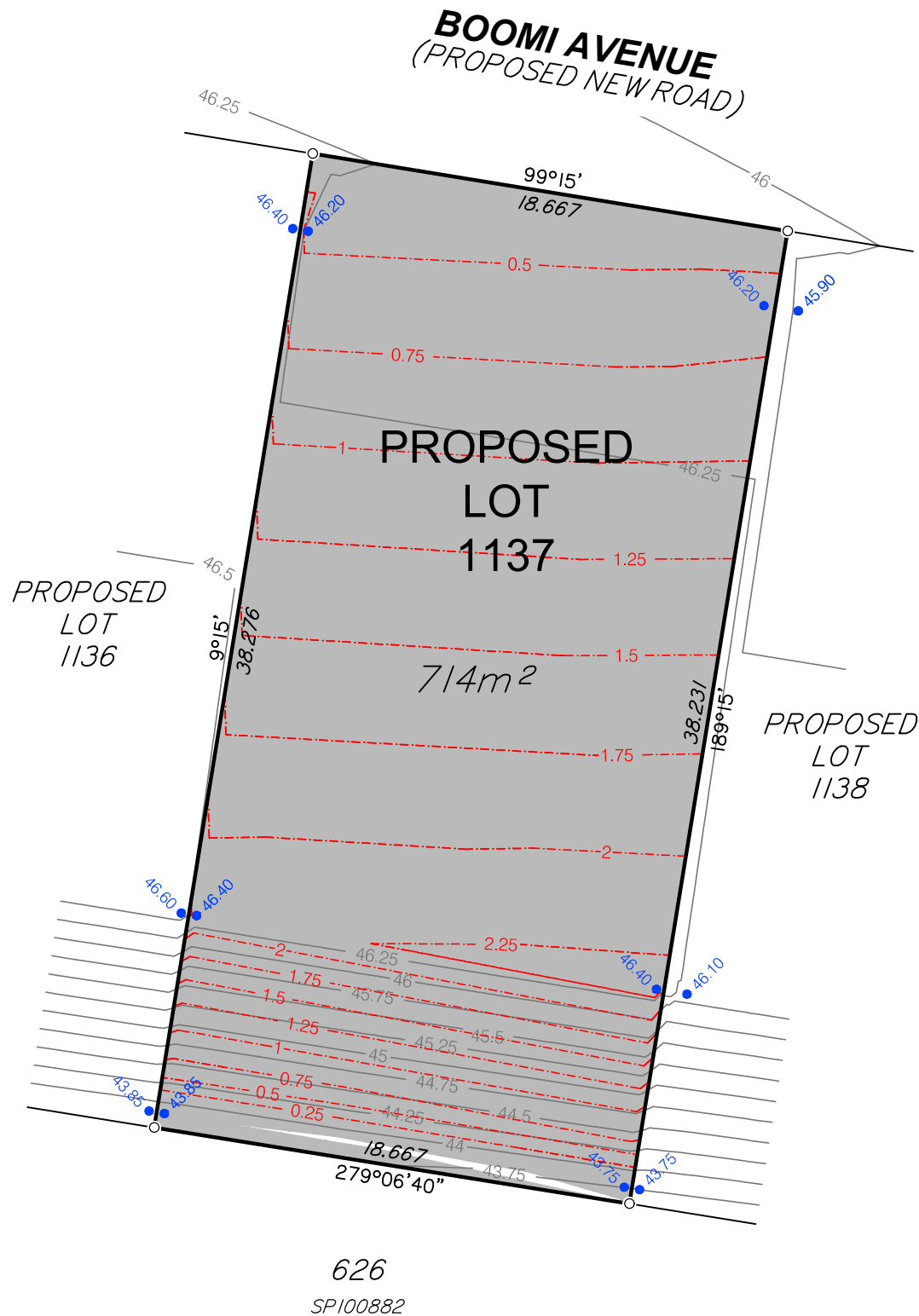
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1137

This plan shows:

Details of Proposed Lot 1137 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 041 - 1

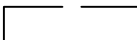
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

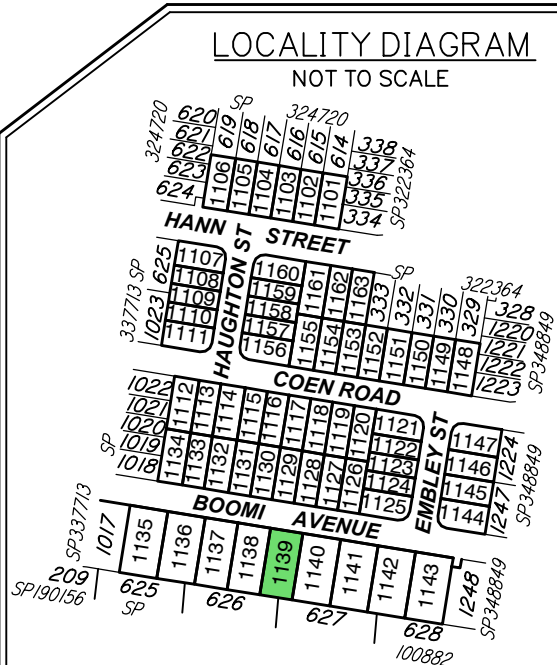
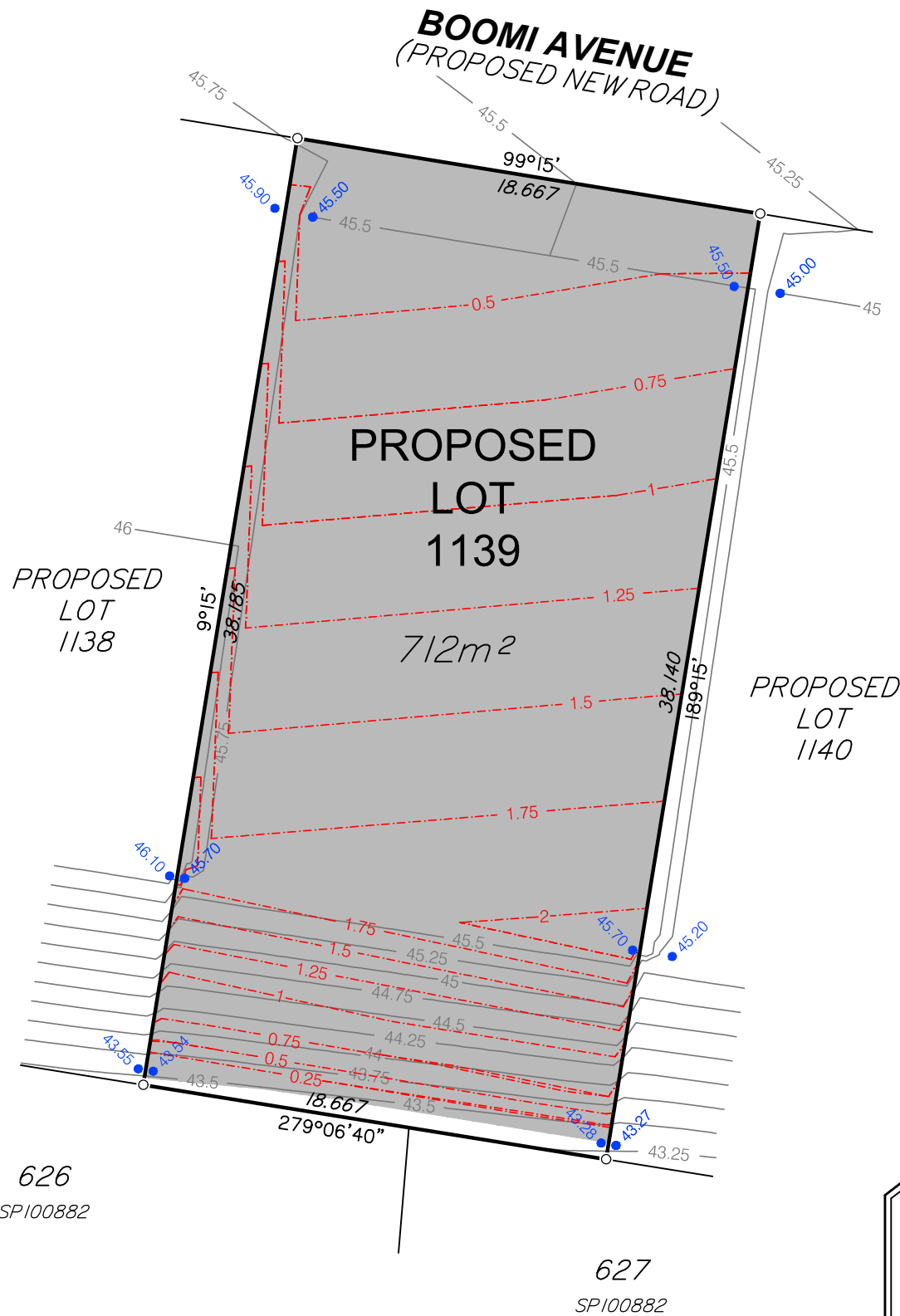
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1139

This plan shows:

Details of Proposed Lot 1139 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.2m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

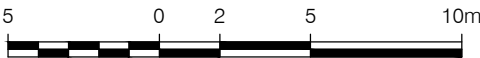
Project:
**PEBBLE CREEK
STAGE 11**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 043 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

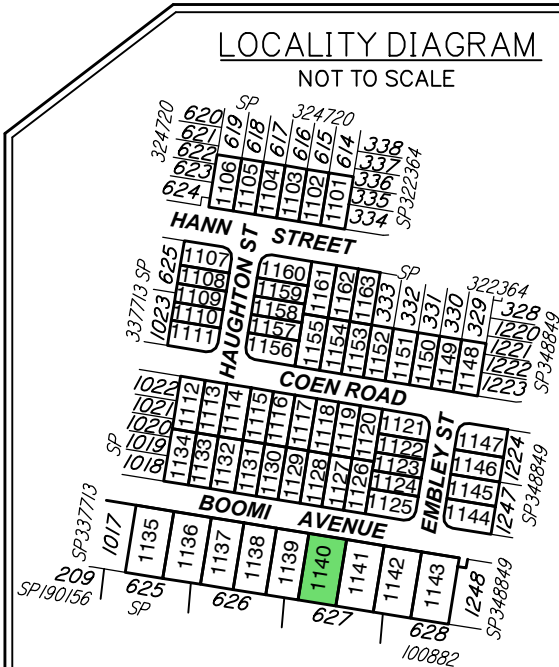
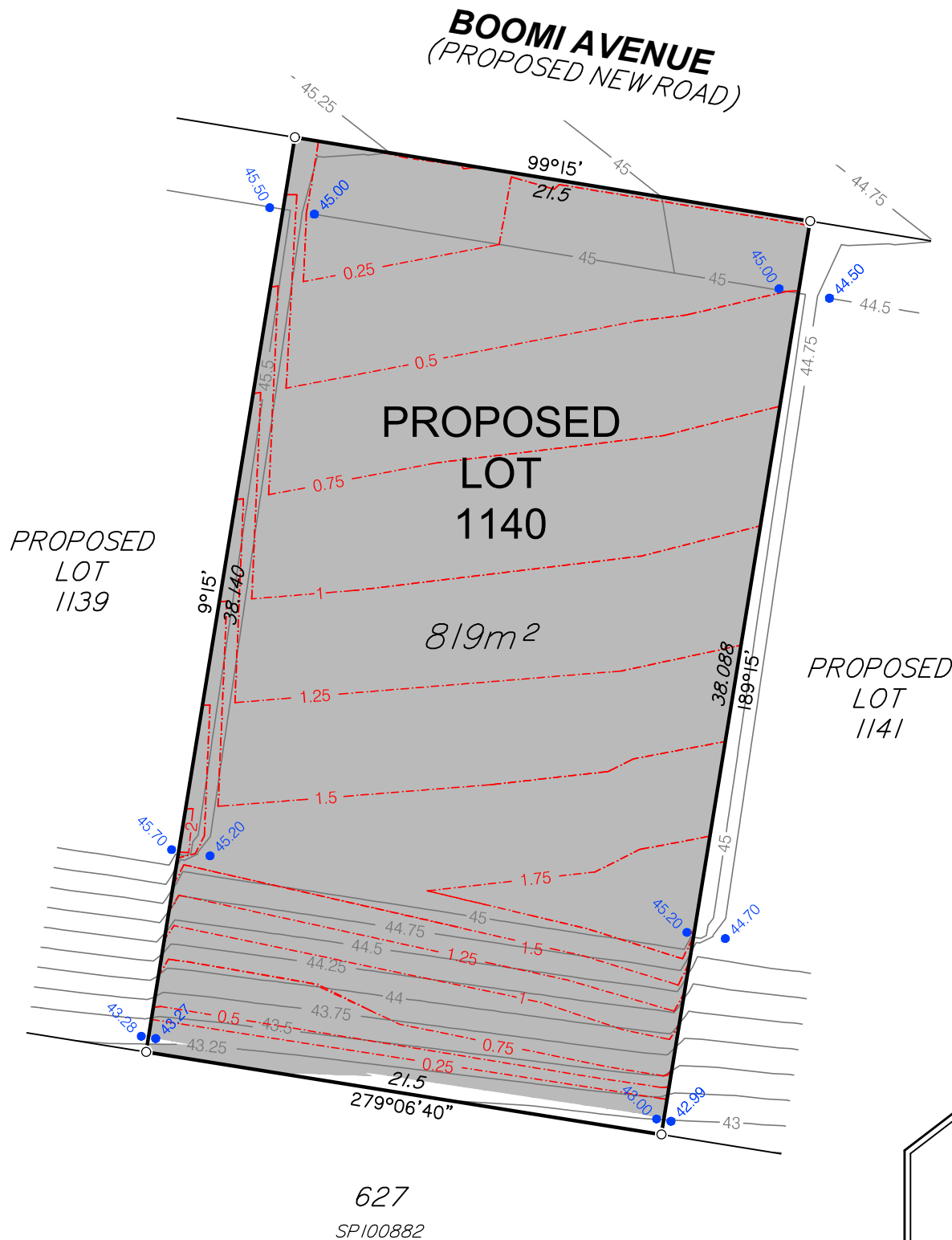
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1140

This plan shows:

Details of Proposed Lot 1140 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 044 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

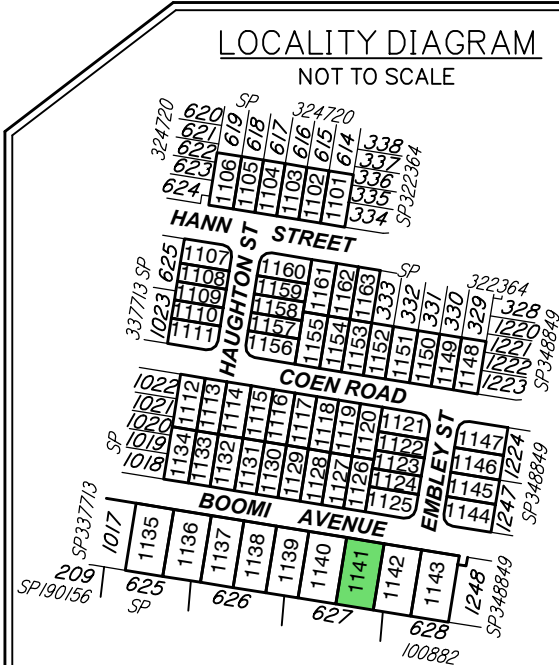
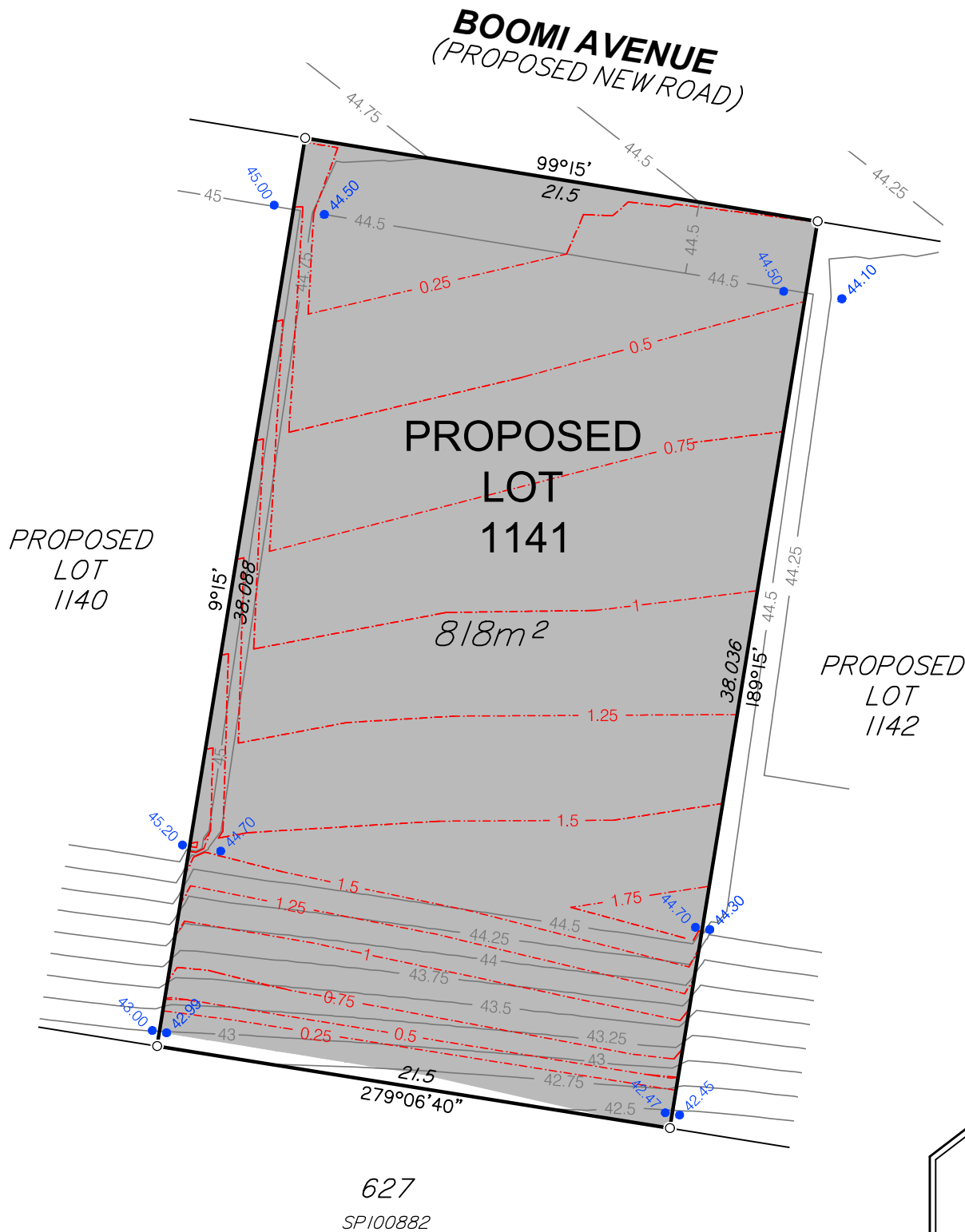
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1141

This plan shows:

Details of Proposed Lot 1141 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

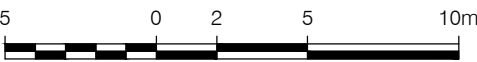
Project: **PEBBLE CREEK
STAGE 11**

Client: **ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064

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w: www.landpartners.com.au



SCALE 1:250 @ A3

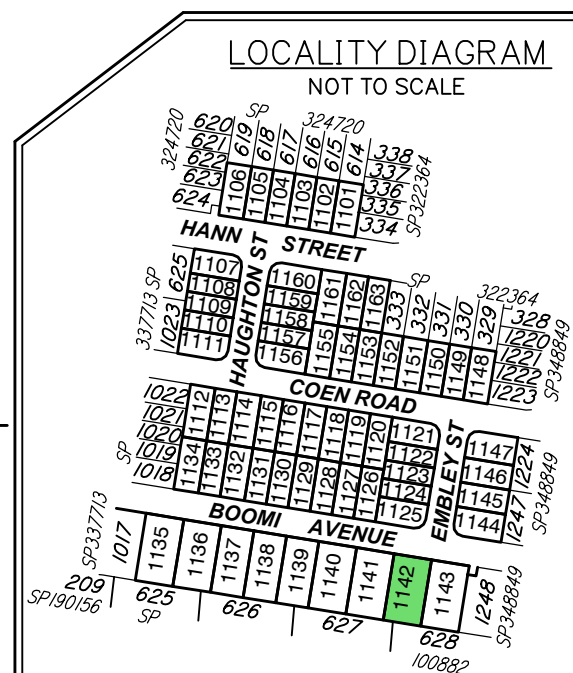
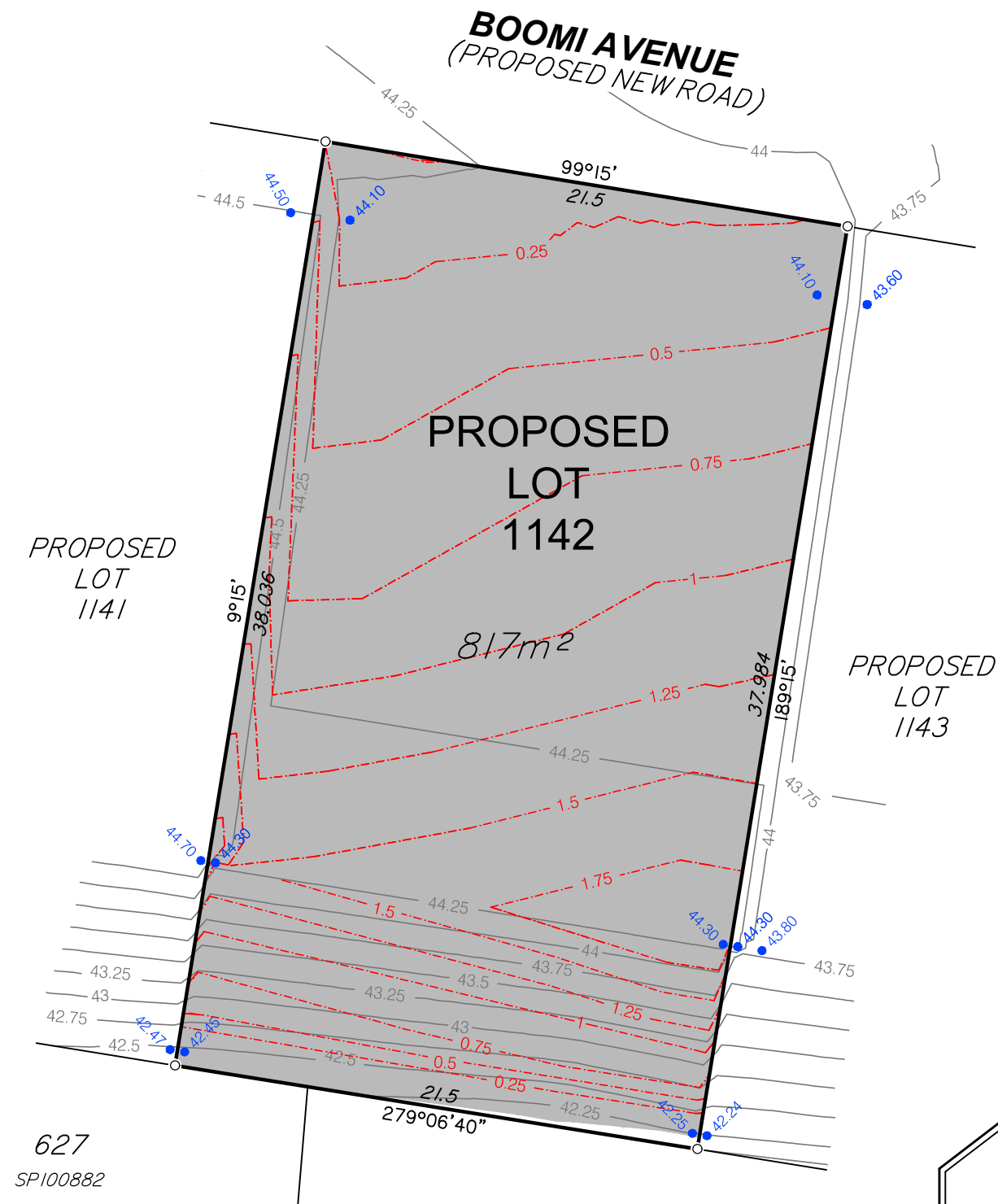
LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 045 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as: — — — — —

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1142

This plan shows:

Details of Proposed Lot 1142 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,
shown as: —48.25—

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - · - 0.25 - · -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

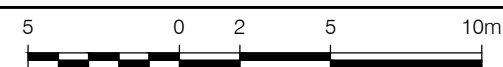
PEBBLE CREEK STAGE 11

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024



SCALE 1:250 @ A3

UDN
BRSS7455 - 011 - 046 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

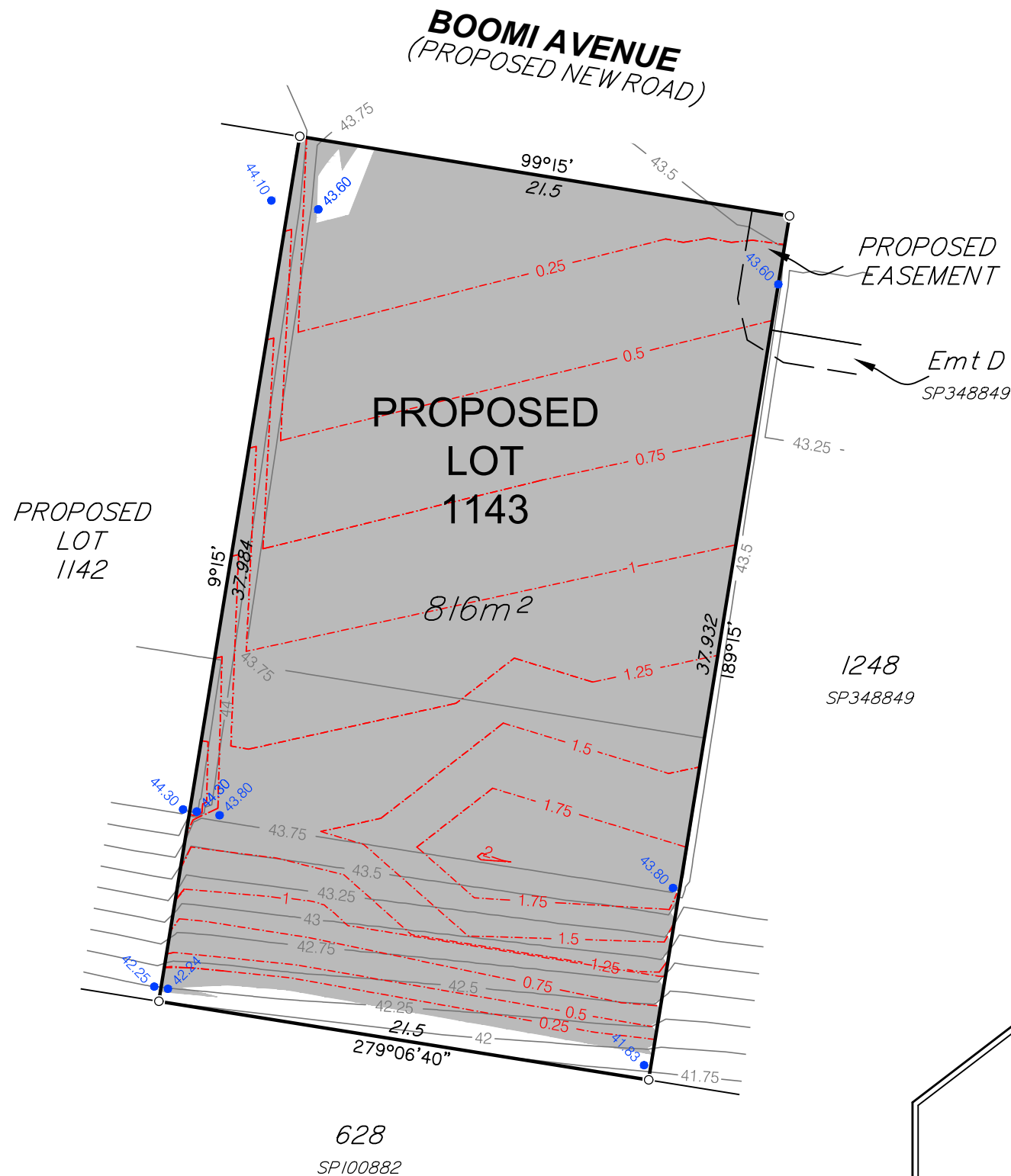
Finished Surface Levels (FSL):

Easements are shown as:

- 36.80

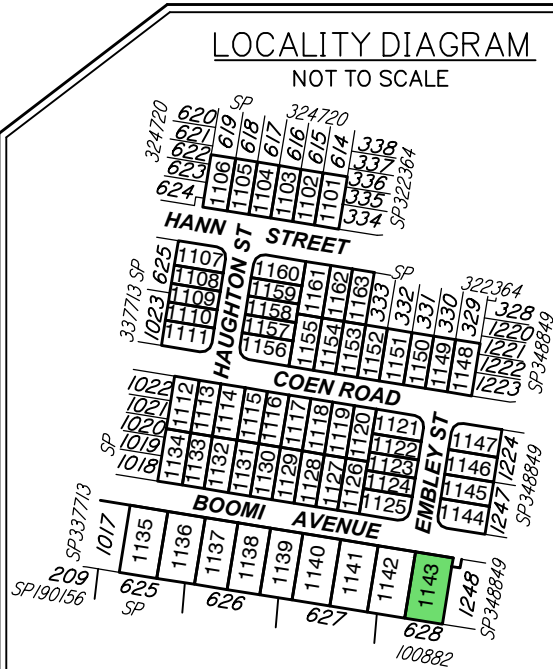
NOTE:

NOTE: This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



1248
SP348849

628
SP100882



DISCLOSURE PLAN FOR PROPOSED LOT 1143

This plan shows:

Details of Proposed Lot 1143 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 2.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



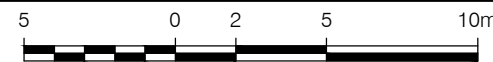
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ISO 9001
Quality Management System
CERTIFIED

ISO 45001
Occupational Health and Safety Management System
CERTIFIED



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG	DATE	18/07/2024

UDN
BRSS7455 - 011 - 047 - 1

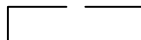
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:

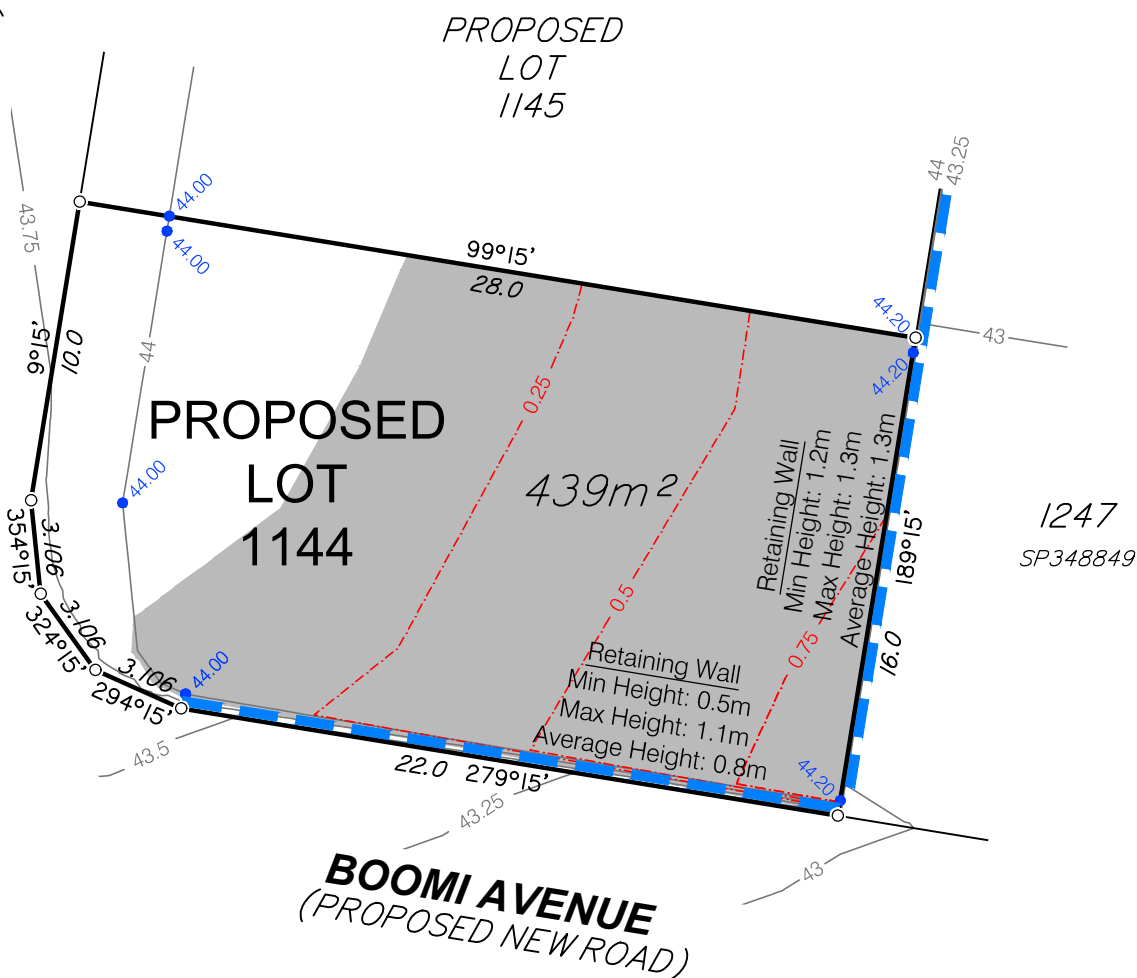


NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



EMBLEY STREET
(PROPOSED NEW ROAD)



BOOMI AVENUE
(PROPOSED NEW ROAD)

LOCALITY DIAGRAM NOT TO SCALE



Items included in this section are in addition to standard Disclosure Plan requirements
(as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1144

This plan shows:

Details of Proposed Lot 1144 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,
shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

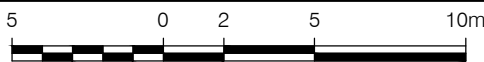
**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



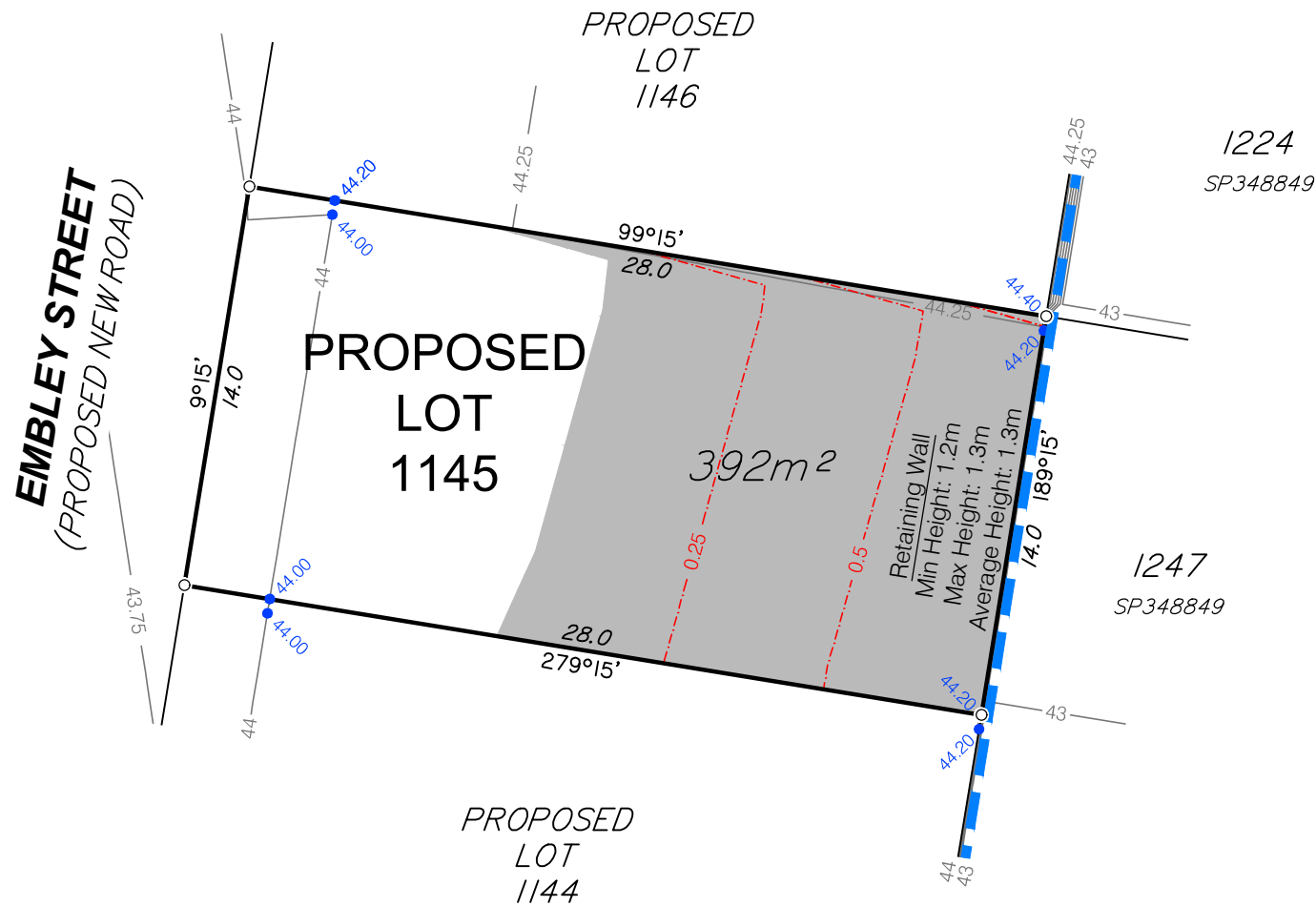
Brisbane Office
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PO Box 1399
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 048 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as: [] []

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1145

This plan shows:

Details of Proposed Lot 1145 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: [] [] [] []

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: []

Fill ranges in depth from 0.0m to 0.9m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

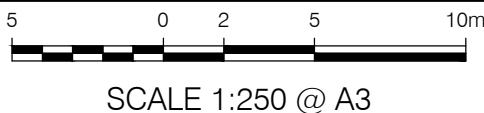
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:
**PEBBLE CREEK
STAGE 11**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

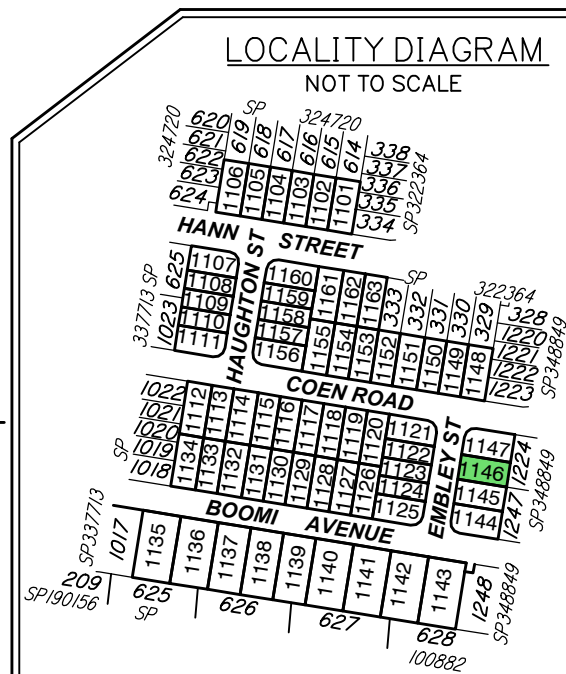
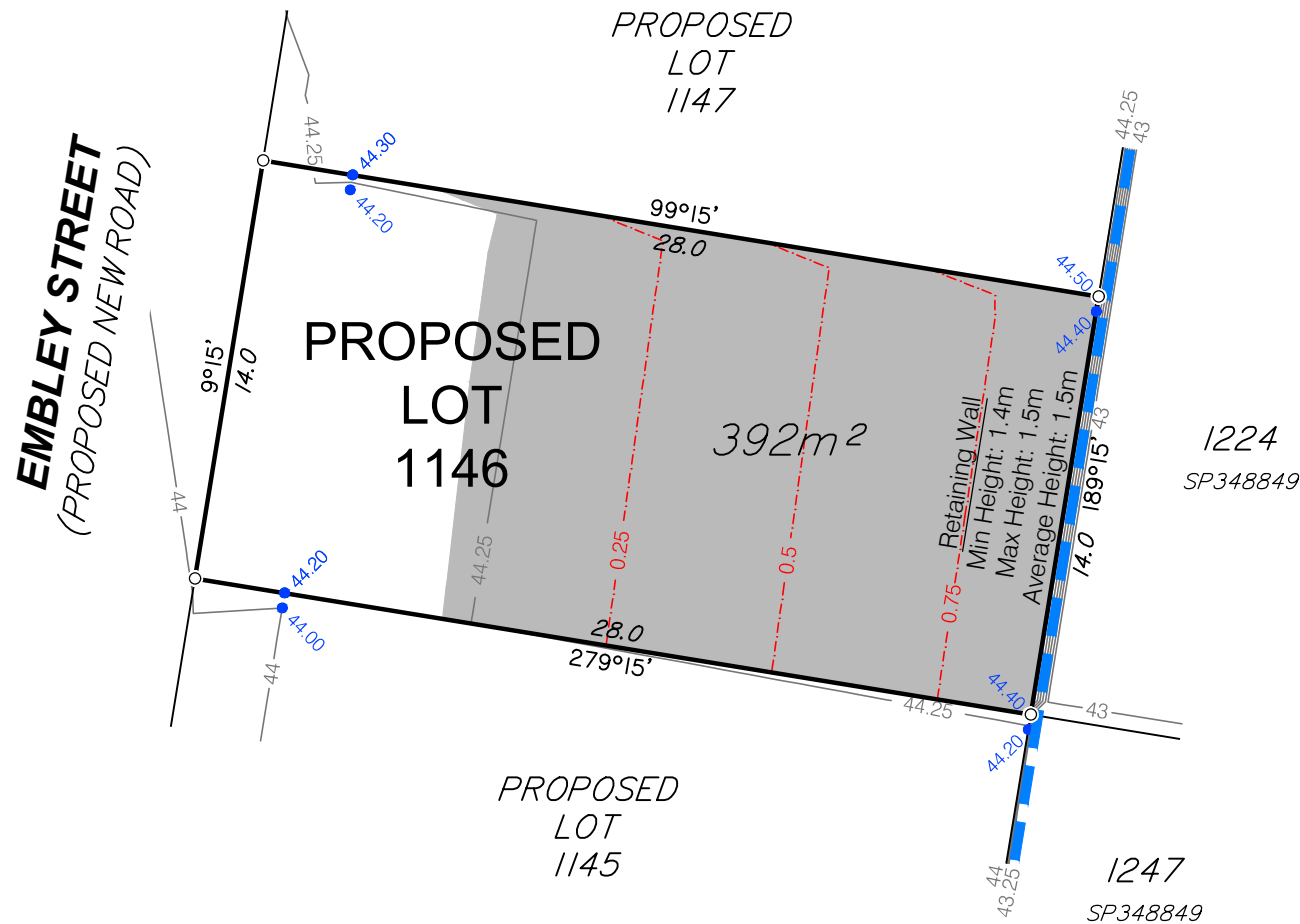


ISO 9001 Quality Management Systems CERTIFIED
ISO 45001 Occupational Health and Safety Management Systems CERTIFIED



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 049 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1146

This plan shows:

Details of Proposed Lot 1146 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.0m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

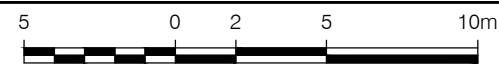
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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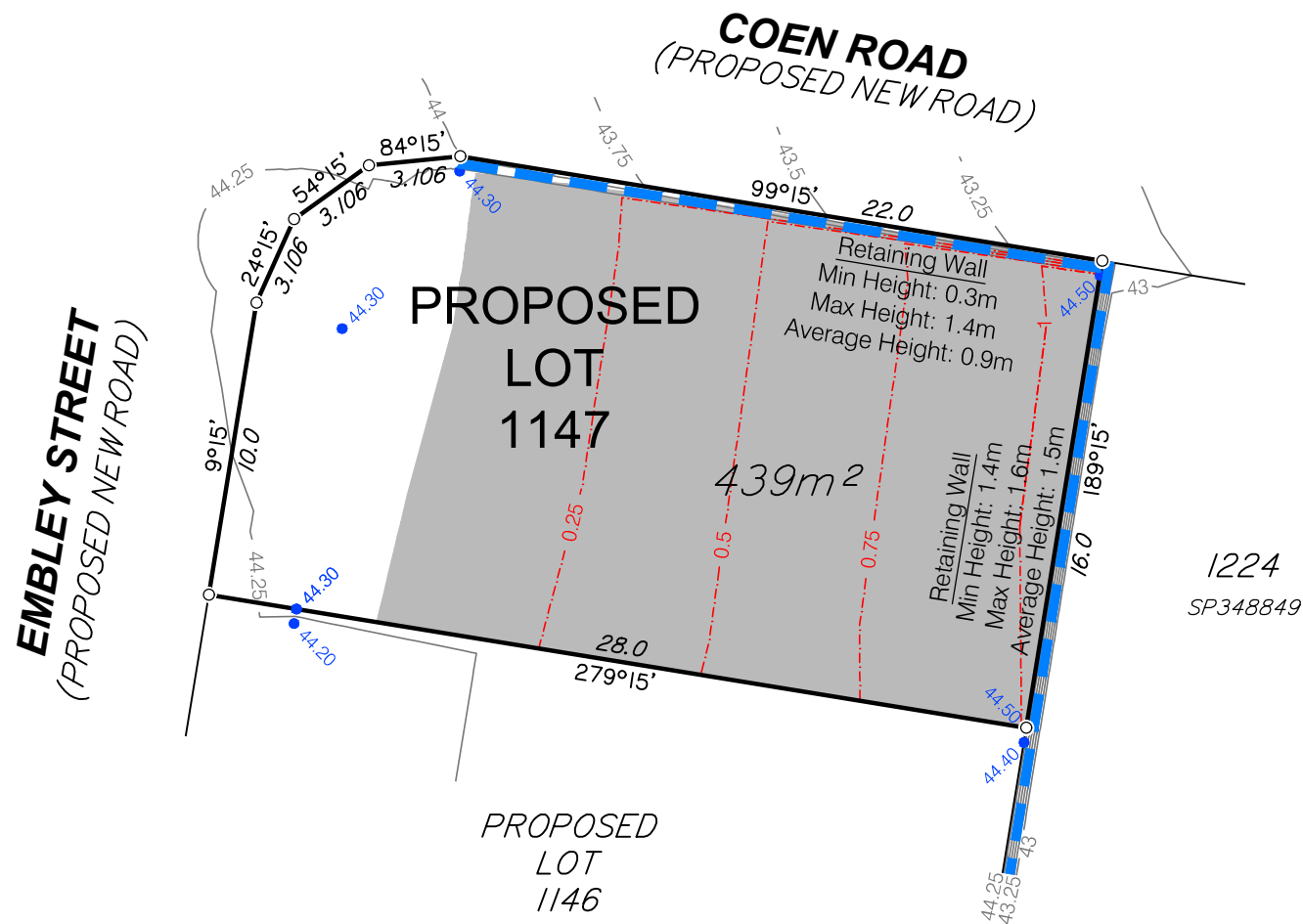
p: (07) 3842 1000
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
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DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 050 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1147

This plan shows:

Details of Proposed Lot 1147 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as:

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as:

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

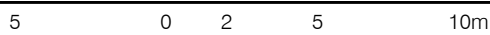
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

LANDPARTNERS
surveyors and planners

Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

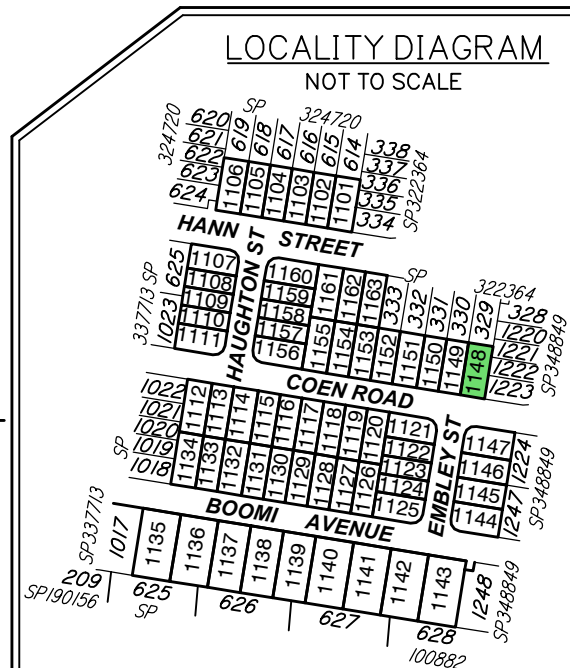
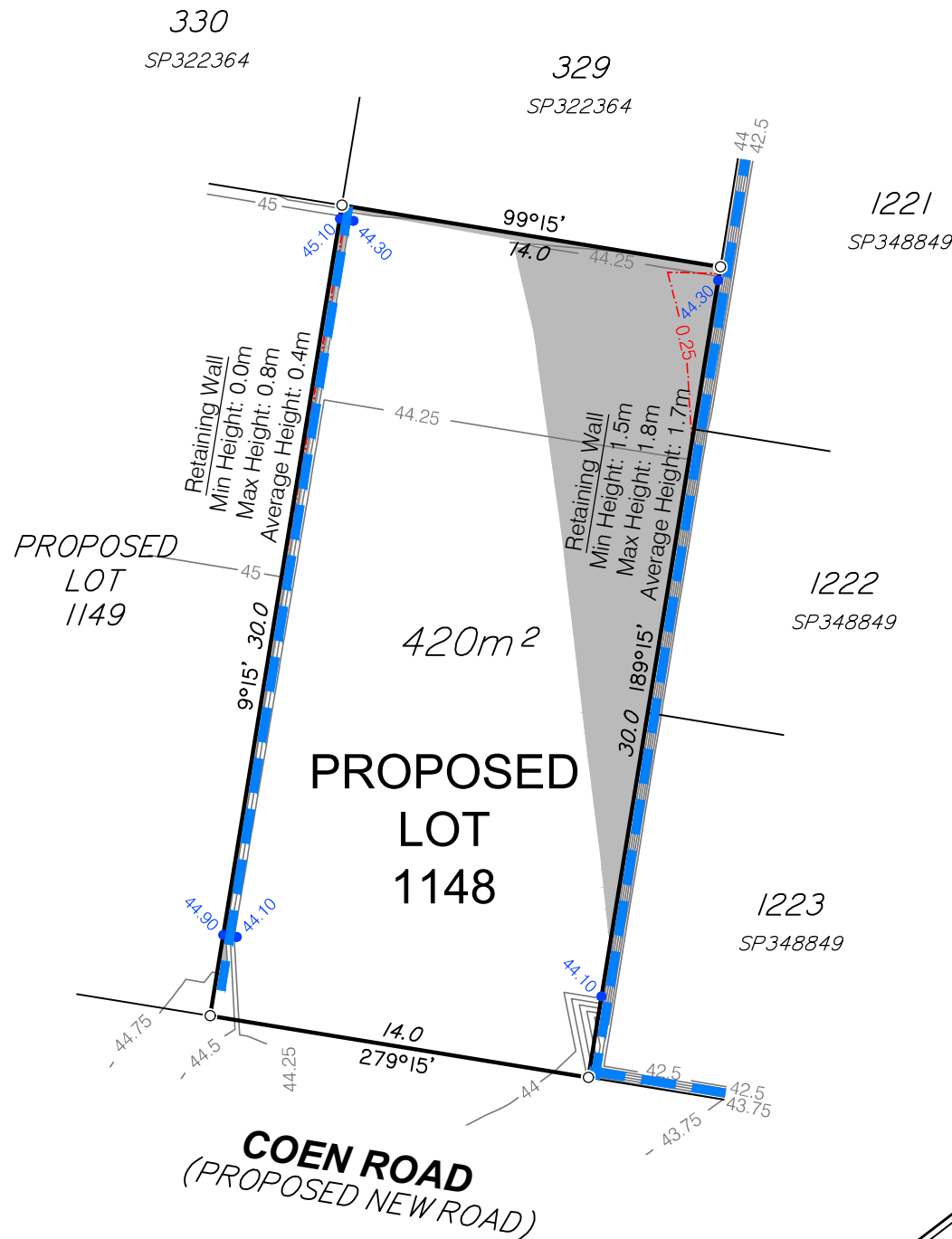
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

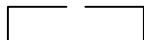
UDN
BRSS7455 - 011 - 051 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL):
Easements are shown as:

• 36.80



NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1148

This plan shows:

Details of Proposed Lot 1148 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:



The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:



Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

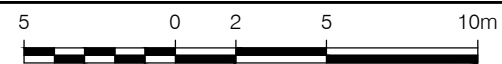
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

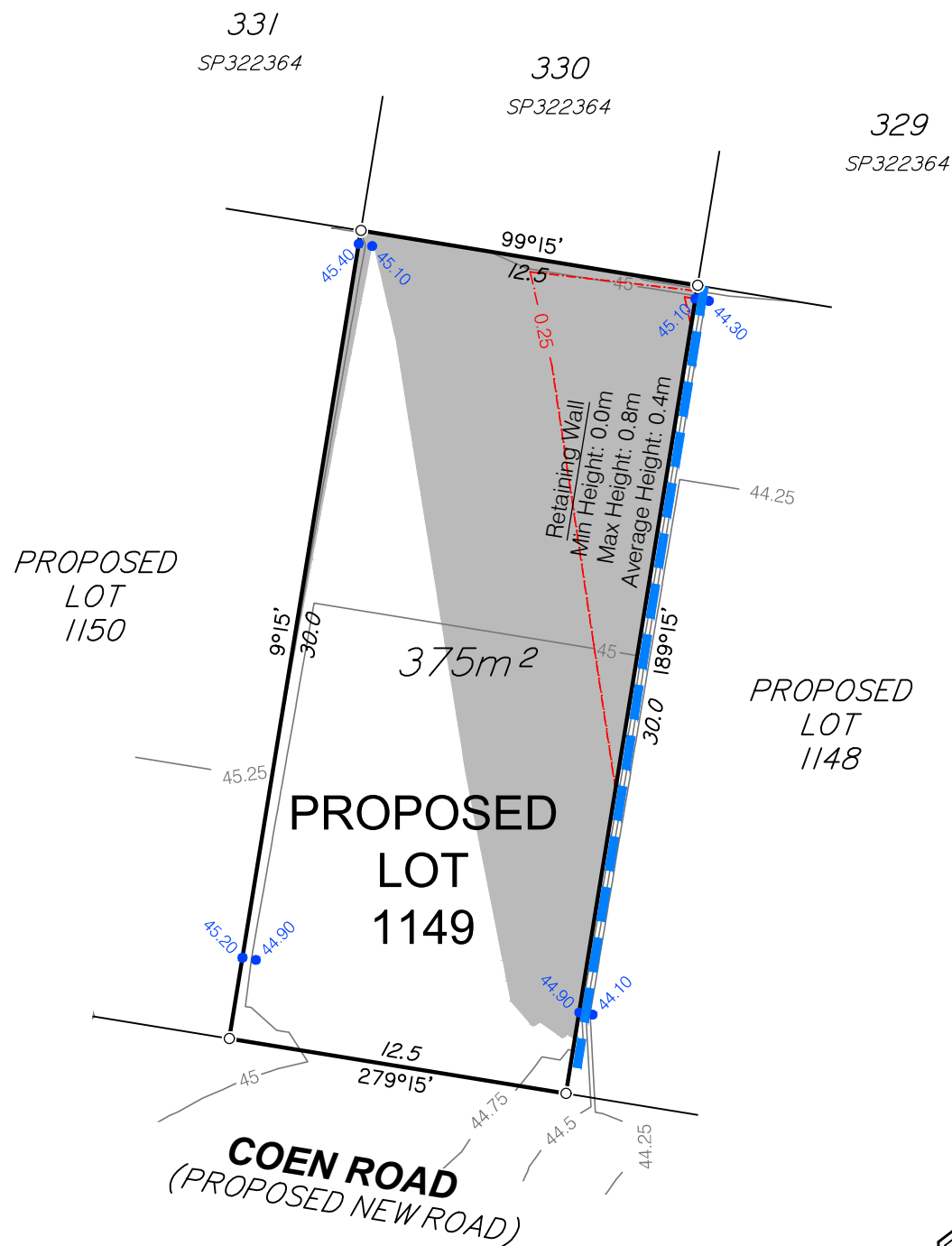
p: (07) 3842 1000
e: info@landpartners.com.au
w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
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SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

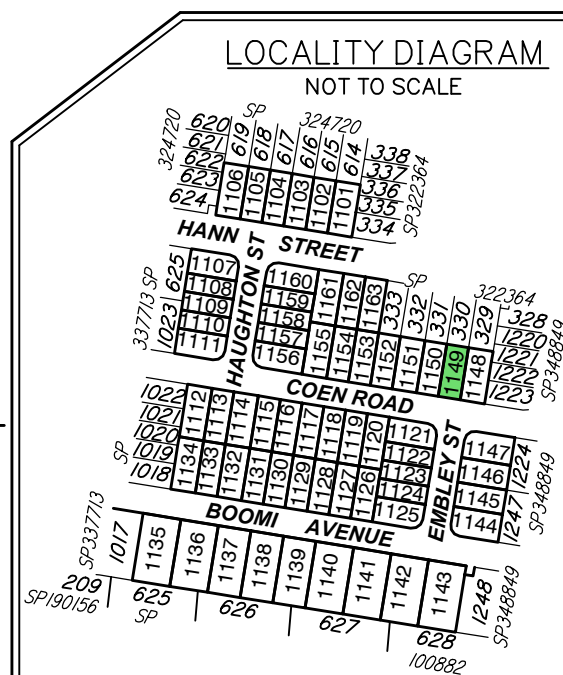
UDN
BRSS7455 - 011 - 052 - 1



PROPOSED
LOT
1148

PROPOSED
LOT
1149

COEN ROAD
(PROPOSED NEW ROAD)



DISCLOSURE PLAN FOR PROPOSED LOT 1149

This plan shows:

Details of Proposed Lot 1149 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,
shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

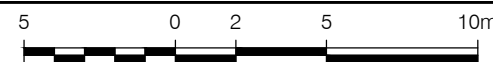
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
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PO Box 1399
Milton Qld 4064

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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 053 - 1

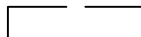
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

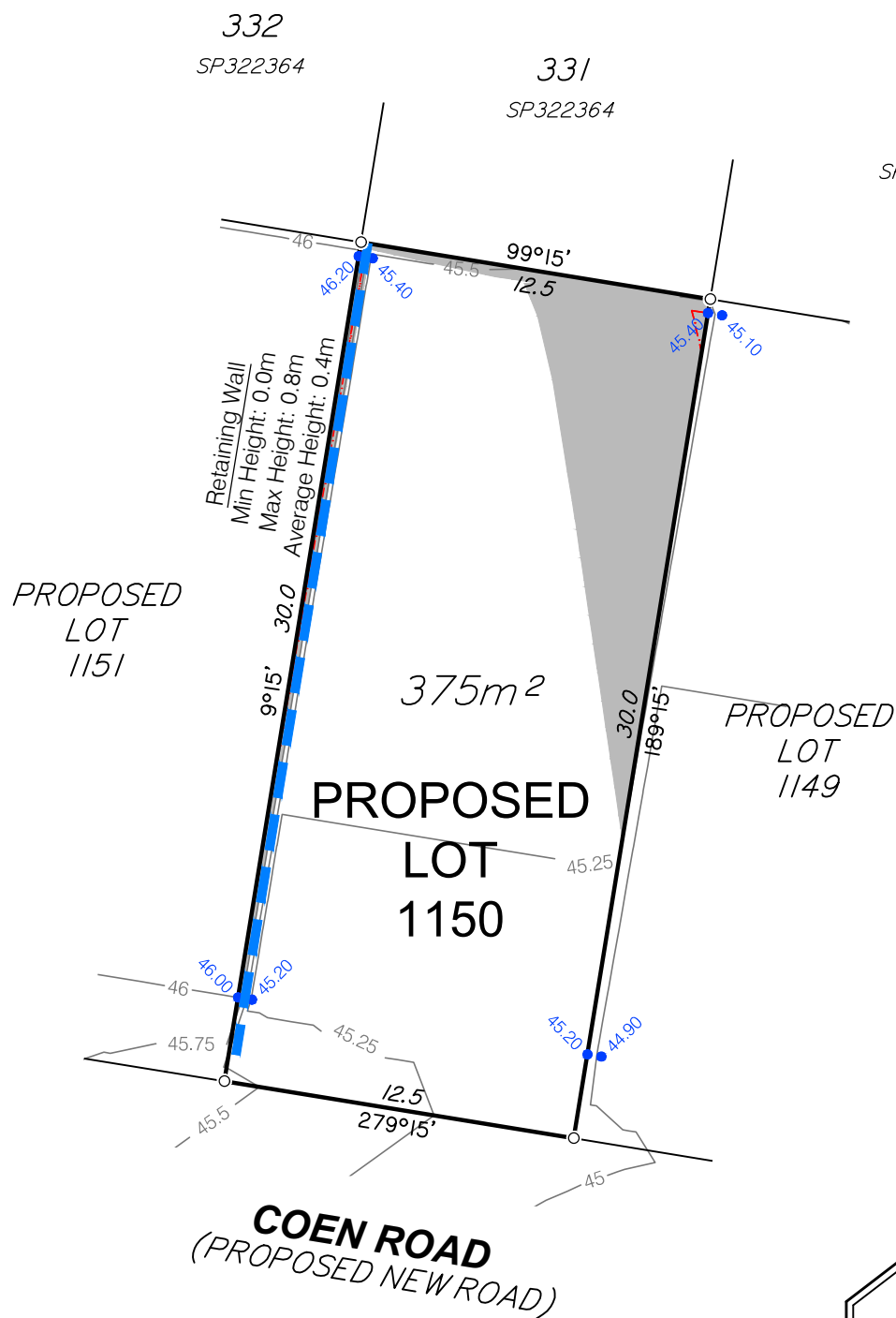
• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



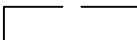
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1150

This plan shows:

Details of Proposed Lot 1150 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:



The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:



Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

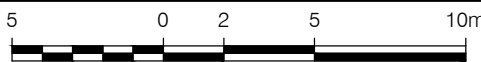
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

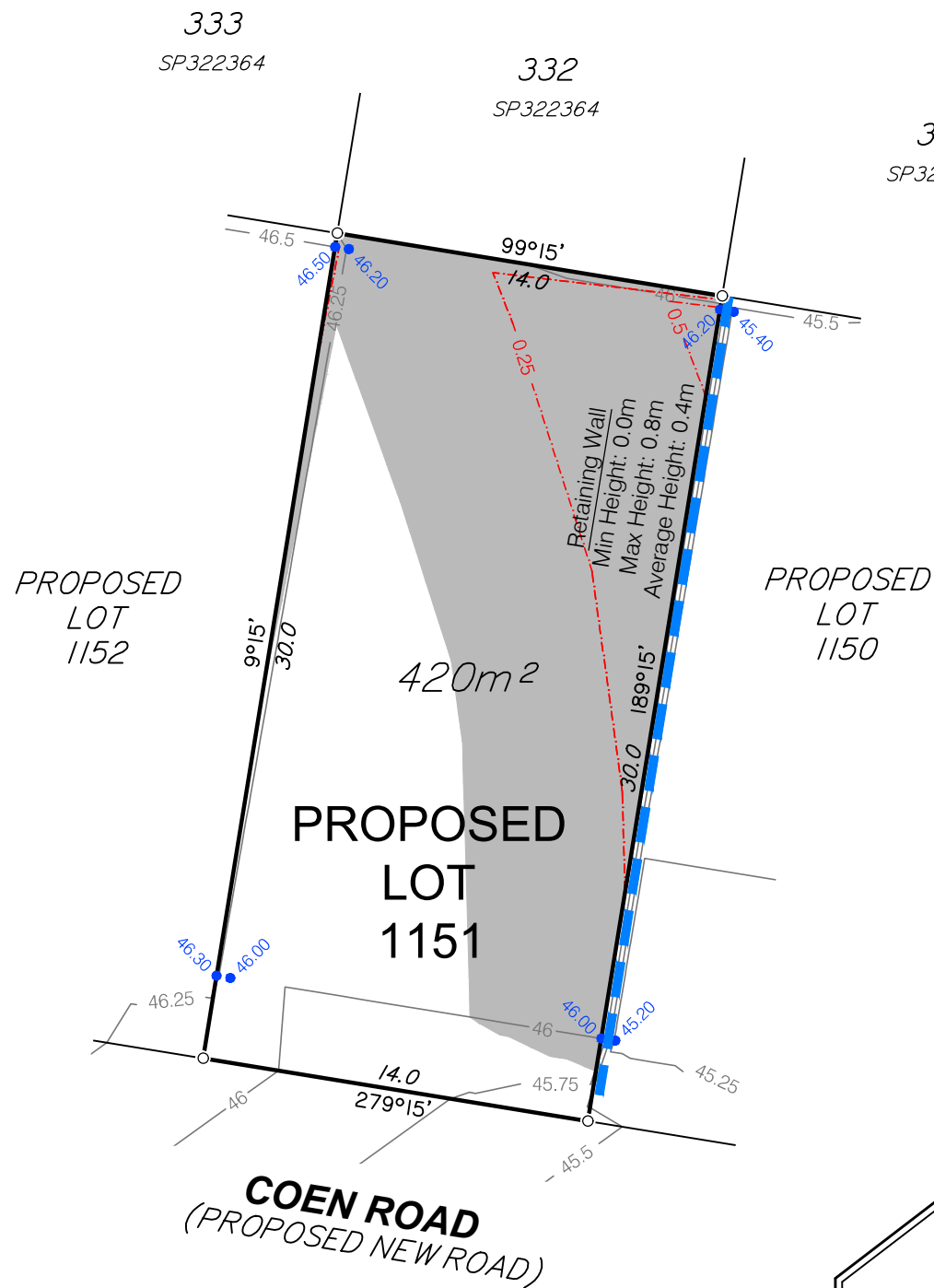
p: (07) 3842 1000
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
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CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

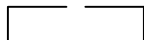
UDN
BRSS7455 - 011 - 054 - 1



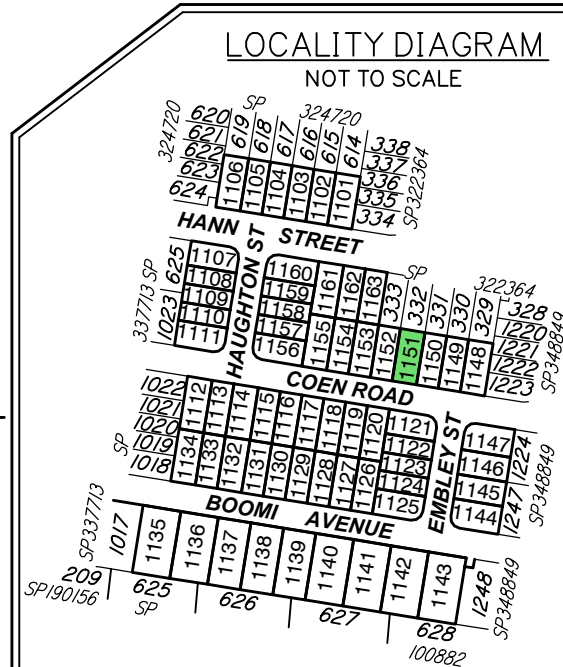
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL):
Easements are shown as:

• 36.80



NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



DISCLOSURE PLAN FOR PROPOSED LOT 1151

This plan shows:

Details of Proposed Lot 1151 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:



The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:



Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

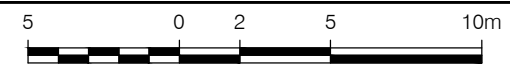
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



Brisbane Office
Level 1
18 Little Cribb Street
Milton Qld 4064
PO Box 1399
Milton Qld 4064

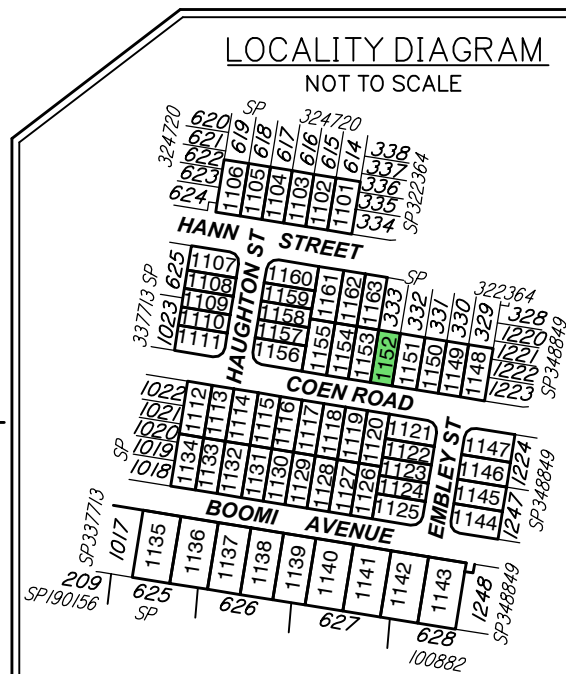
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w: www.landpartners.com.au



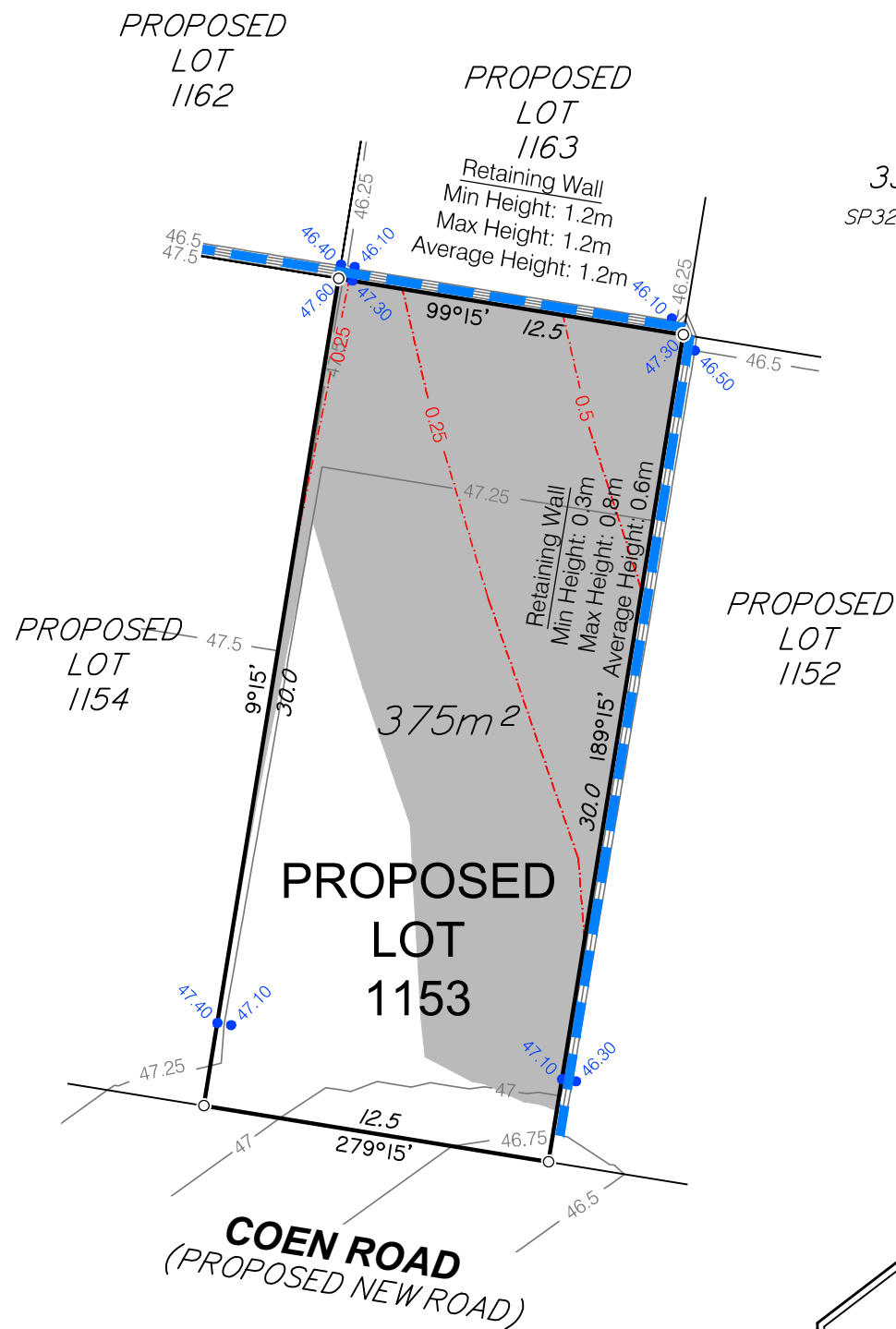
SCALE 1:250 @ A3

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LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
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APPROVED	RGA	DATE	18/07/2024

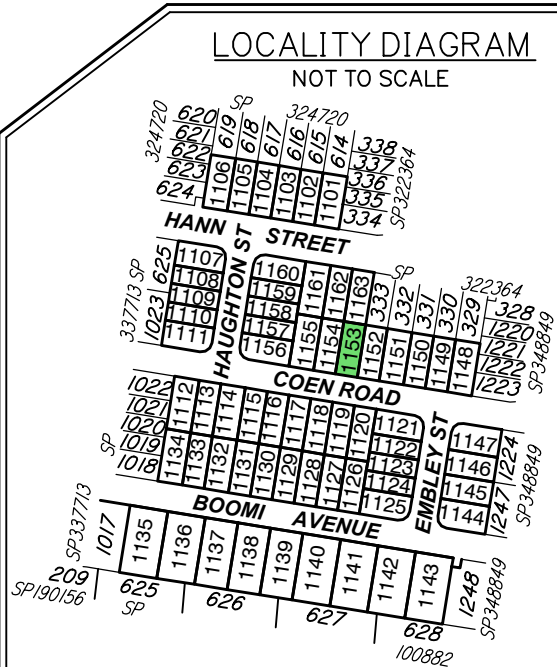
UDN
BRSS7455 - 011 - 055 - 1



NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



333
SP322364



DISCLOSURE PLAN FOR PROPOSED LOT 1153

This plan shows:

Details of Proposed Lot 1153 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: [Blue dashed line symbol]

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: [Grey shaded area symbol]

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

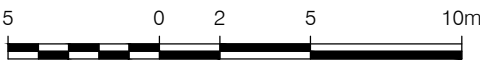
**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 057 - 1

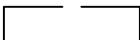
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

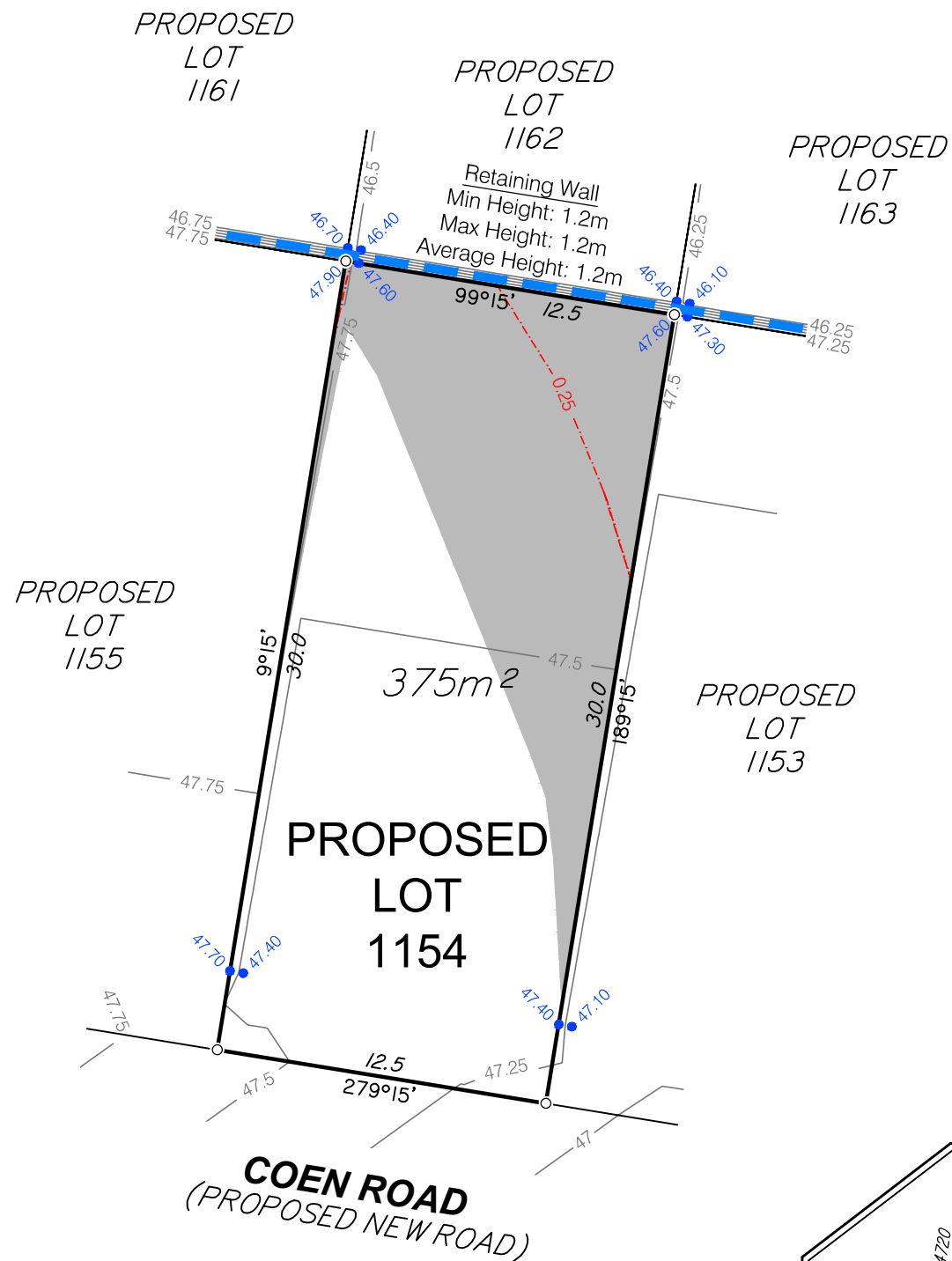
• 36.80

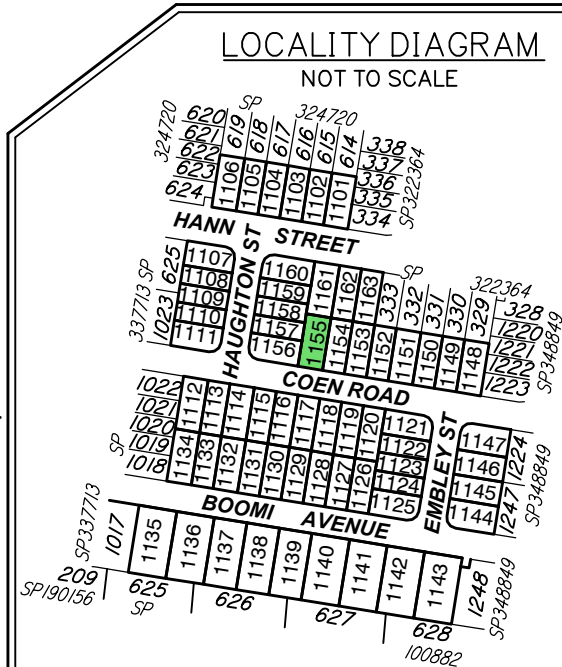
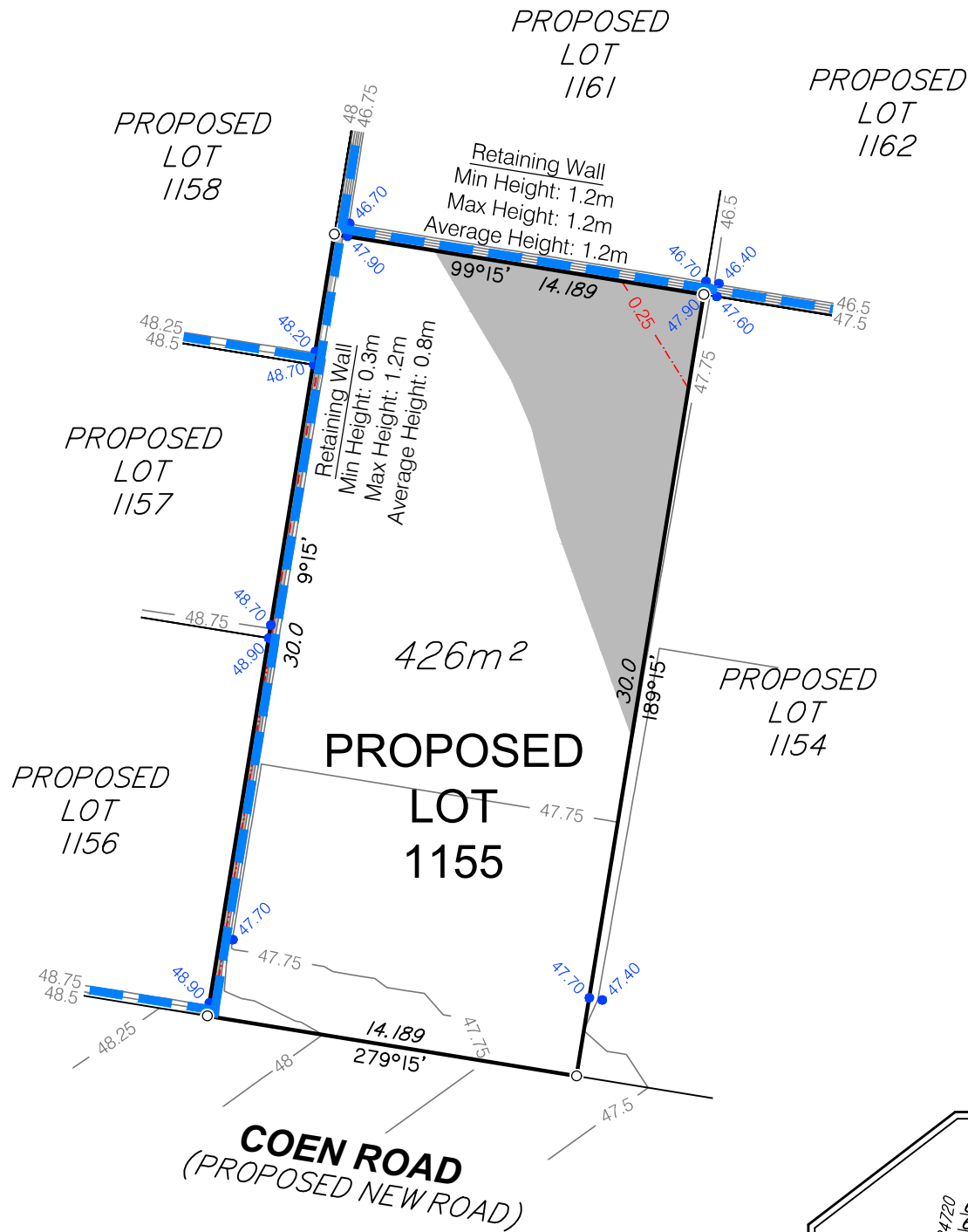
Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.





Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1155

This plan shows:

Details of Proposed Lot 1155 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



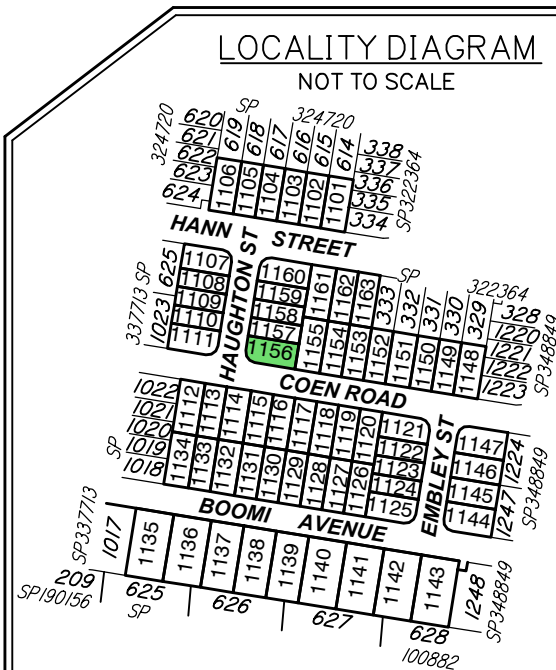
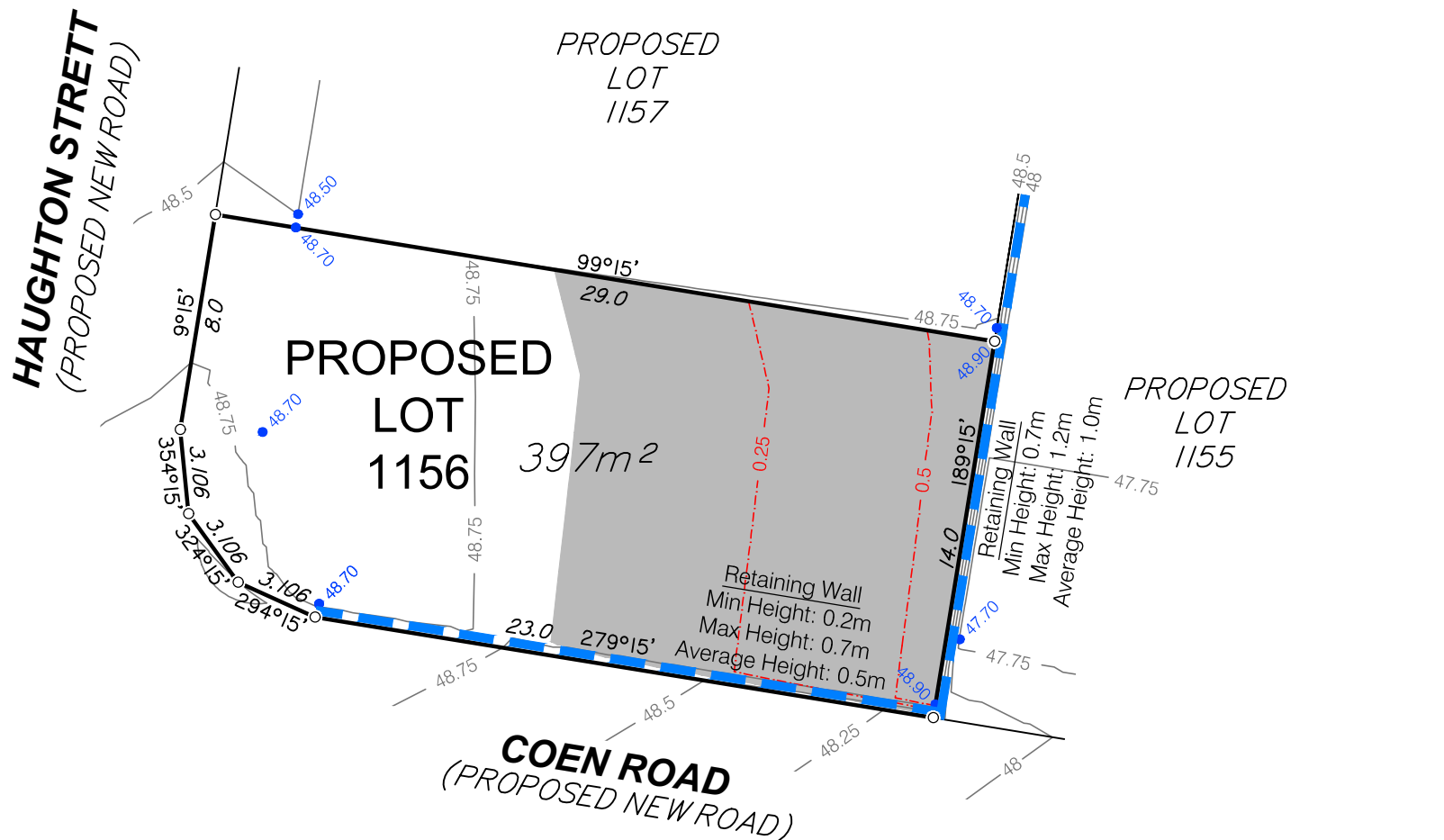
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 059 - 1



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL):
Easements are shown as:

• 36.80

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1156

This plan shows:

Details of Proposed Lot 1156 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

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Quality Management System
CERTIFIED



BSI ISO 45001
Occupational Health and Safety Management System
CERTIFIED



**CERTIFIED
LOCATOR**

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Milton QLD 4064

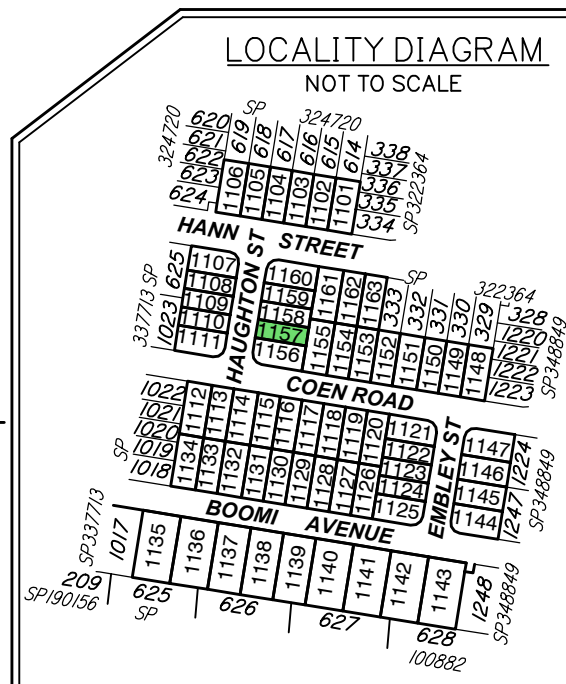
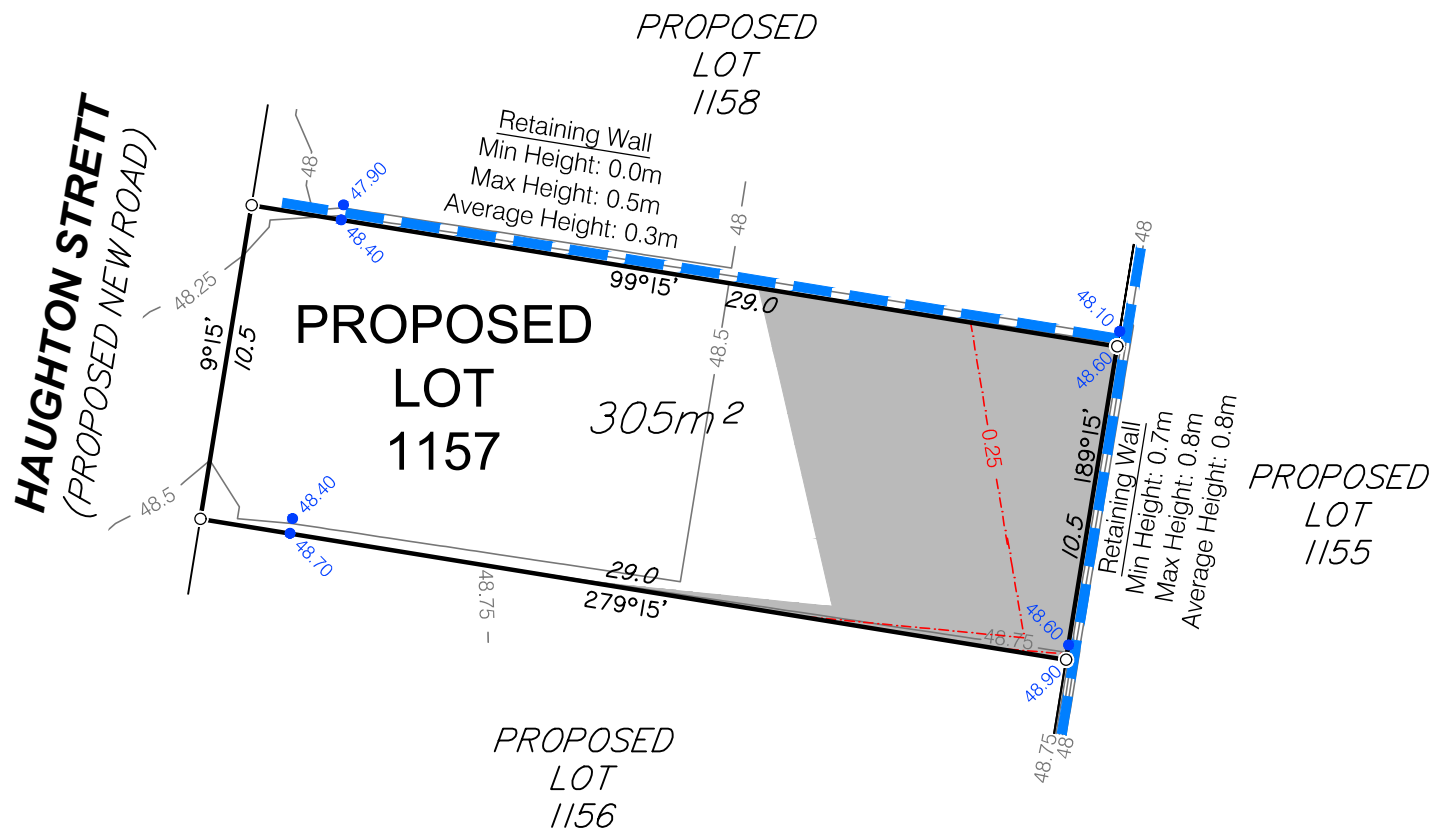
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LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-2		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	22/08/2024
CHECKED	RGA	DATE	22/08/2024
APPROVED	RGA	DATE	22/08/2024

UDN
BRSS7455 - 011 - 060 - 2



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80
Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1157

This plan shows:

Details of Proposed Lot 1157 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.6m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:
**PEBBLE CREEK
STAGE 11**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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ISO 45001 Occupational Health and Safety Management System CERTIFIED

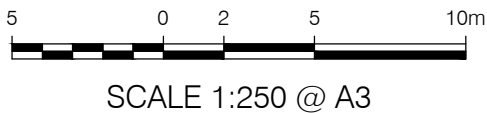


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LOCATOR**

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Level 1
18 Little Cribb Street
Milton QLD 4064

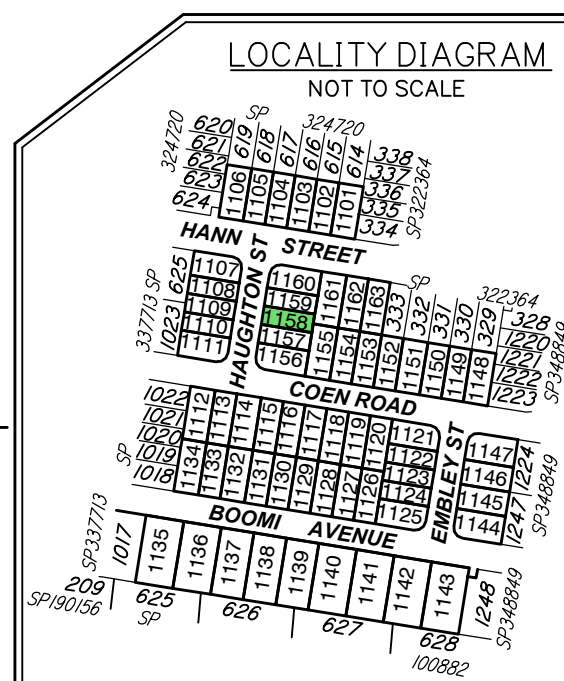
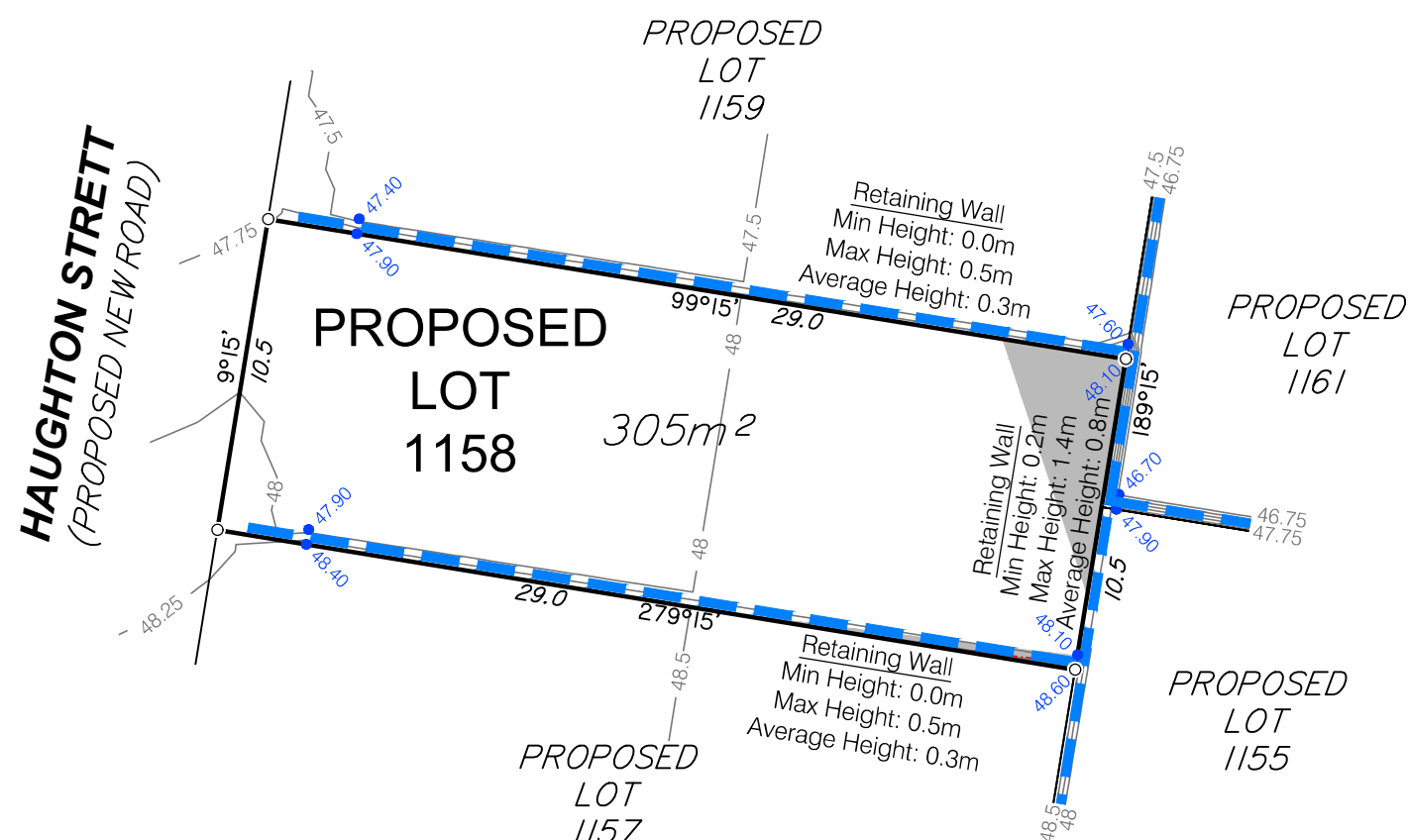
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LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-3		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	08/10/2024
CHECKED	LPL	DATE	08/10/2024
APPROVED	RGA	DATE	08/10/2024

UDN
BRSS7455 - 011 - 061 - 3



Where applicable,

Finished Surface Levels (FSL): • 36.80

Easements are shown as:

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

This plan shows:

Details of Proposed Lot 1158 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,
shown as: —48.25—

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - - 0.25 - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

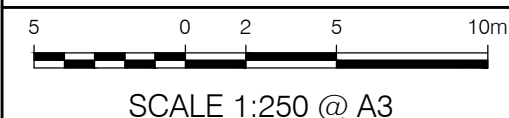
Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:

PEBBLE CREEK STAGE 11

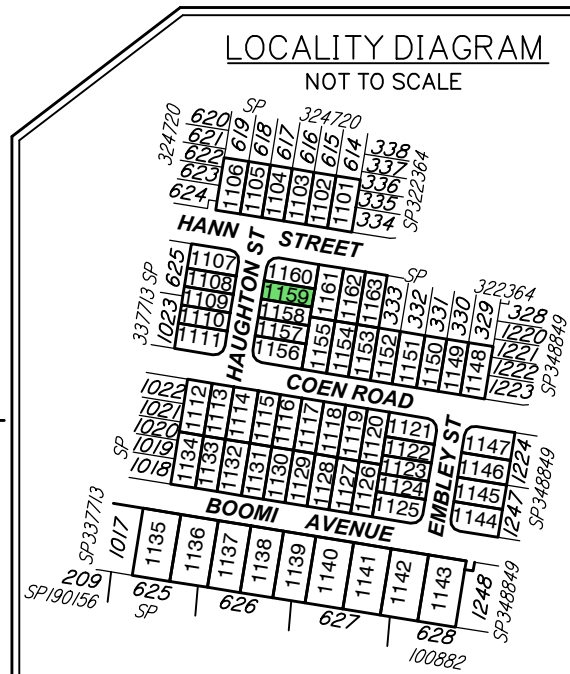
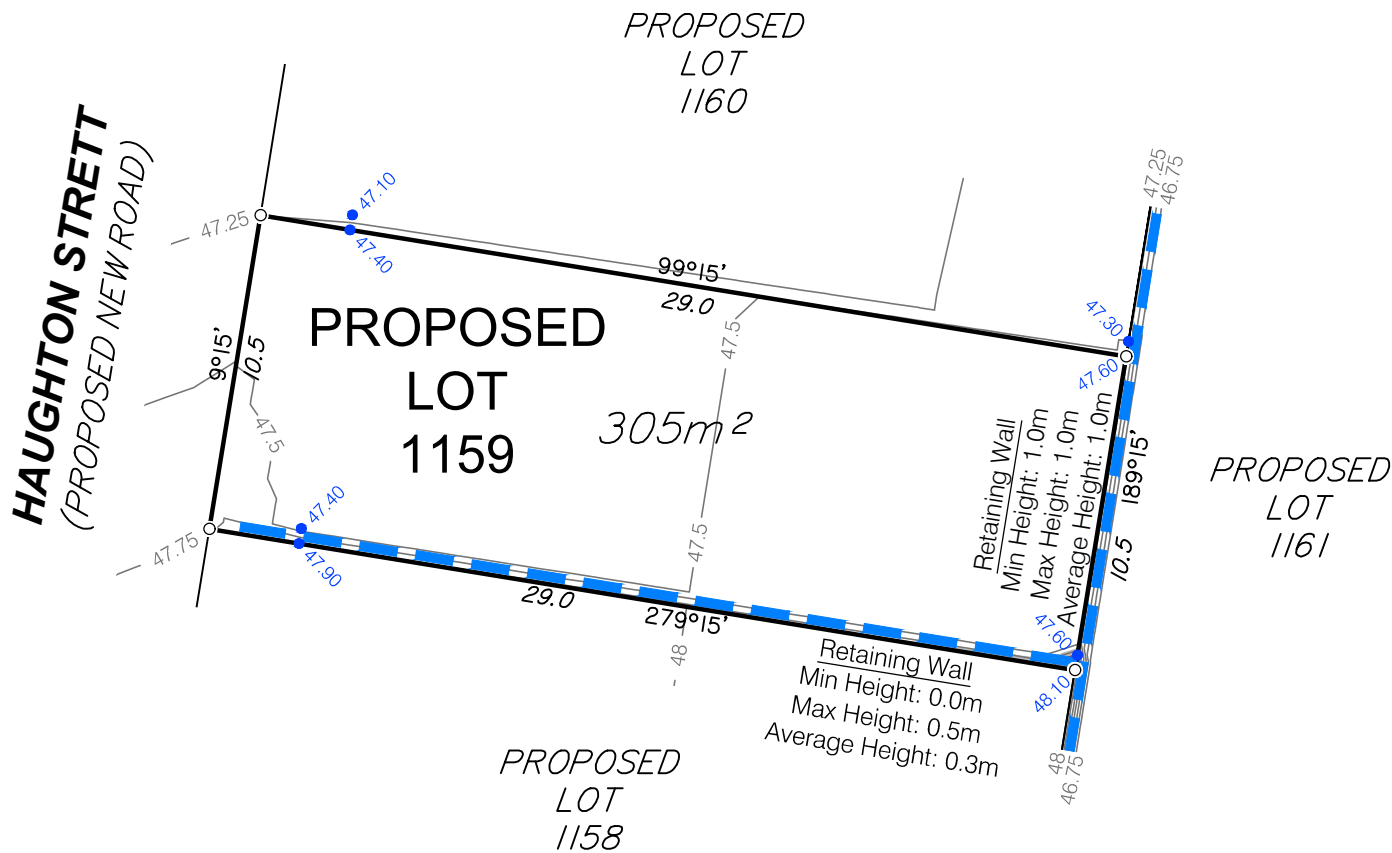
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-3		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	08/10/2024
CHECKED	LPL	DATE	08/10/2024
APPROVED	RG A	DATE	08/10/2024

UDN
BRSS7455 - 011 - 062 - 3



DISCLOSURE PLAN FOR PROPOSED LOT 1159

This plan shows:

Details of Proposed Lot 1159 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 0.3m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 30th of September 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



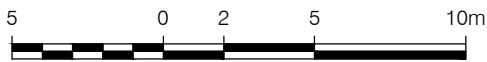
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Milton QLD 4064

PO Box 1399
Milton
QLD 4064

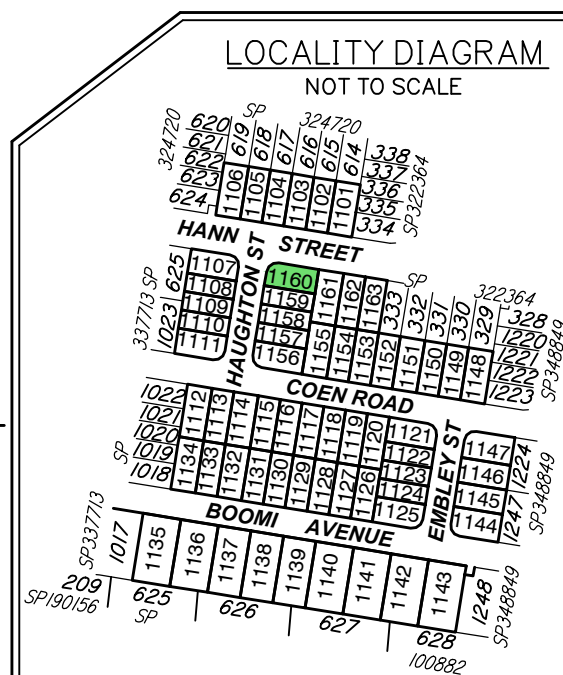
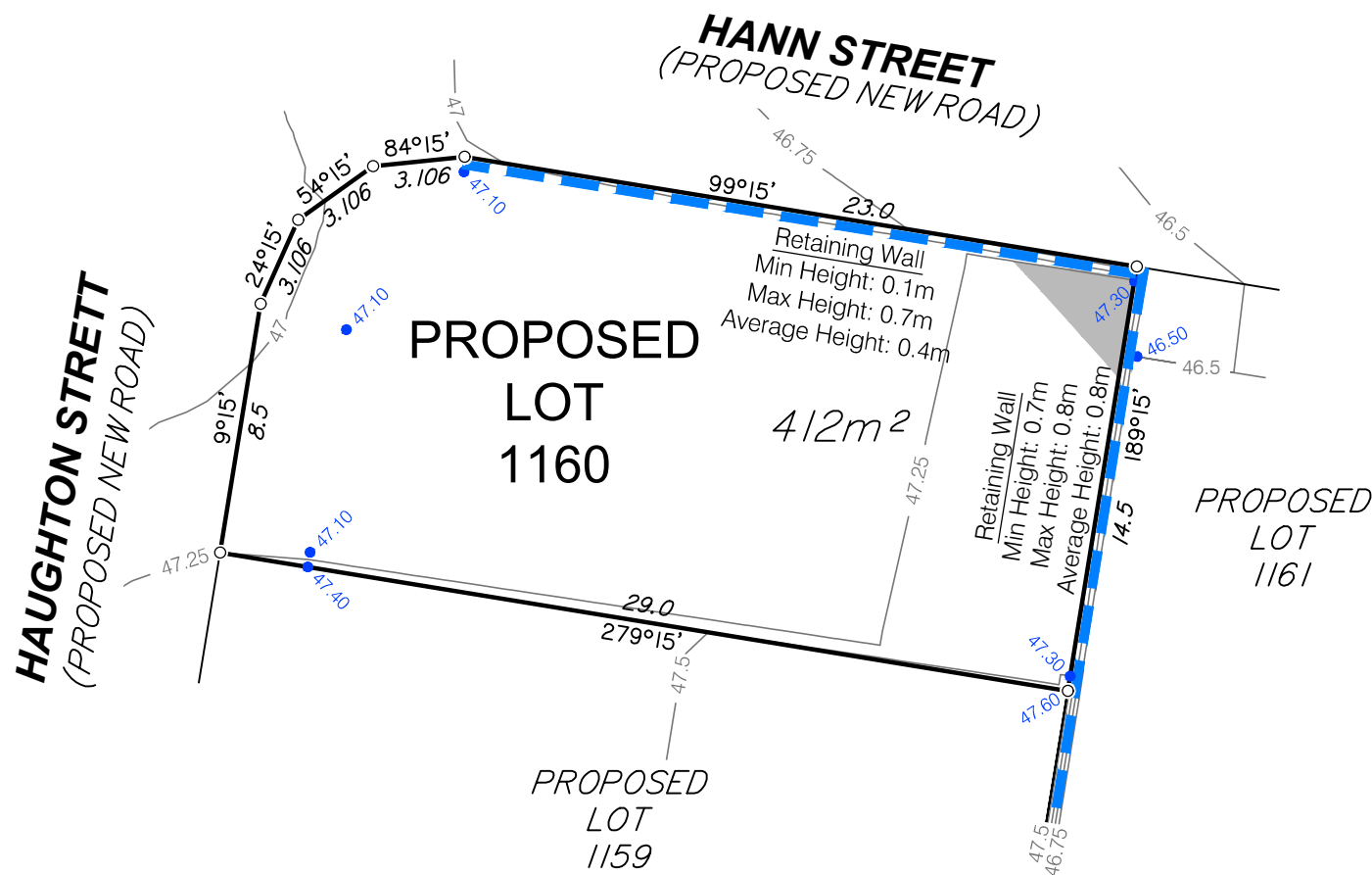
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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-3		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	08/10/2024
CHECKED	LPL	DATE	08/10/2024
APPROVED	RGA	DATE	08/10/2024

UDN
BRSS7455 - 011 - 063 - 3



DISCLOSURE PLAN FOR PROPOSED LOT 1160

This plan shows:

Details of Proposed Lot 1160 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 0.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:
**PEBBLE CREEK
STAGE 11**

Client:
**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Quality
Management
System
CERTIFIED

ISO 45001
Occupational
Health and Safety
Management
System
CERTIFIED



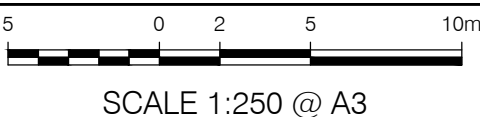
**CERTIFIED
LOCATOR**

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QLD 4064

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LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-2		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	22/08/2024
CHECKED	RG	DATE	22/08/2024
APPROVED	RG	DATE	22/08/2024



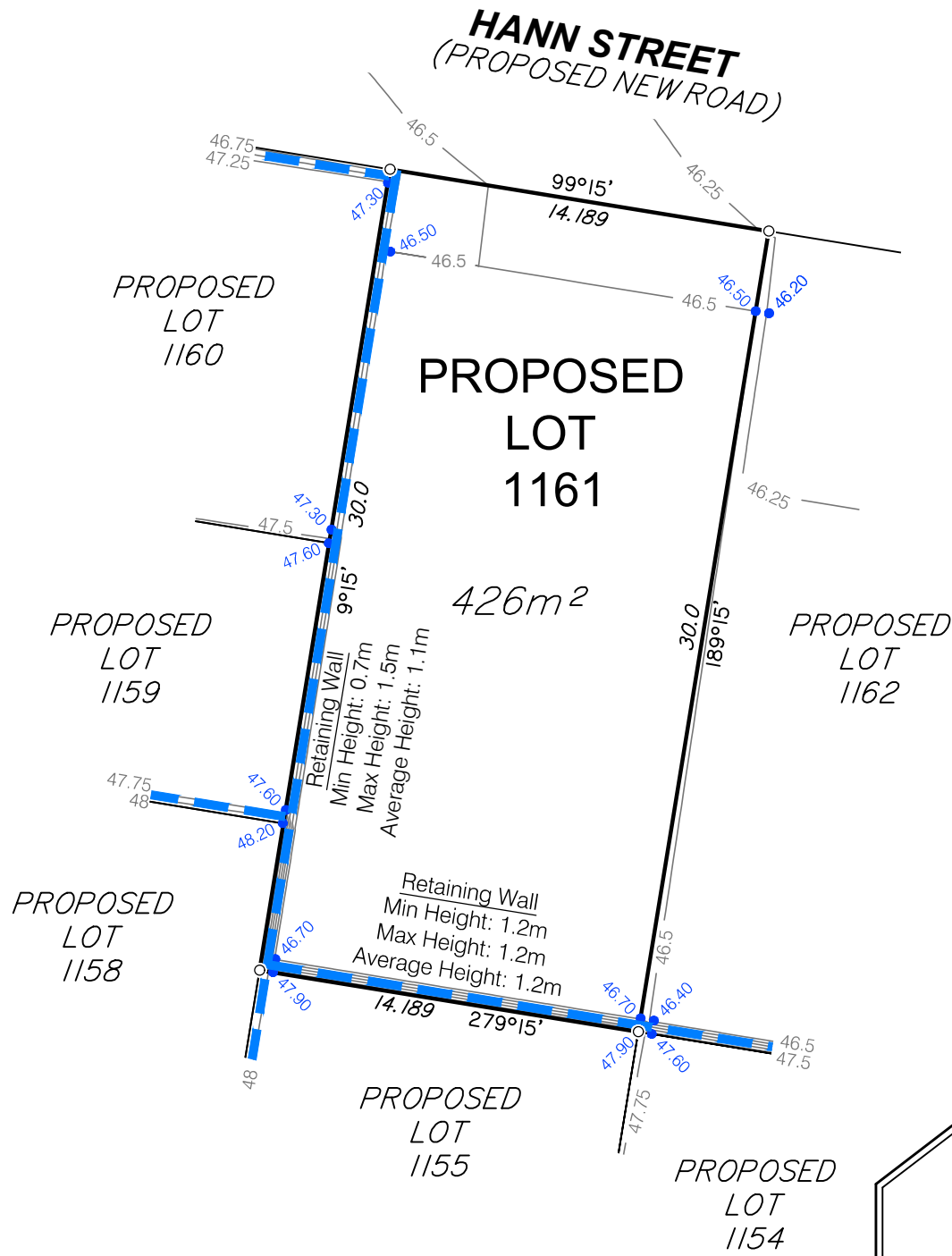
UDN
BRSS7455 - 011 - 064 - 2

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL): • 36.80

Easements are shown as: — — — — —

NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.



Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,
Finished Surface Levels (FSL):
Easements are shown as:

• 36.80



NOTE:
This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.

DISCLOSURE PLAN FOR PROPOSED LOT 1161

This plan shows:

Details of Proposed Lot 1161 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as:



The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:



Fill ranges in depth from 0.0m to 0.4m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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Milton Qld 4064
PO Box 1399
Milton Qld 4064

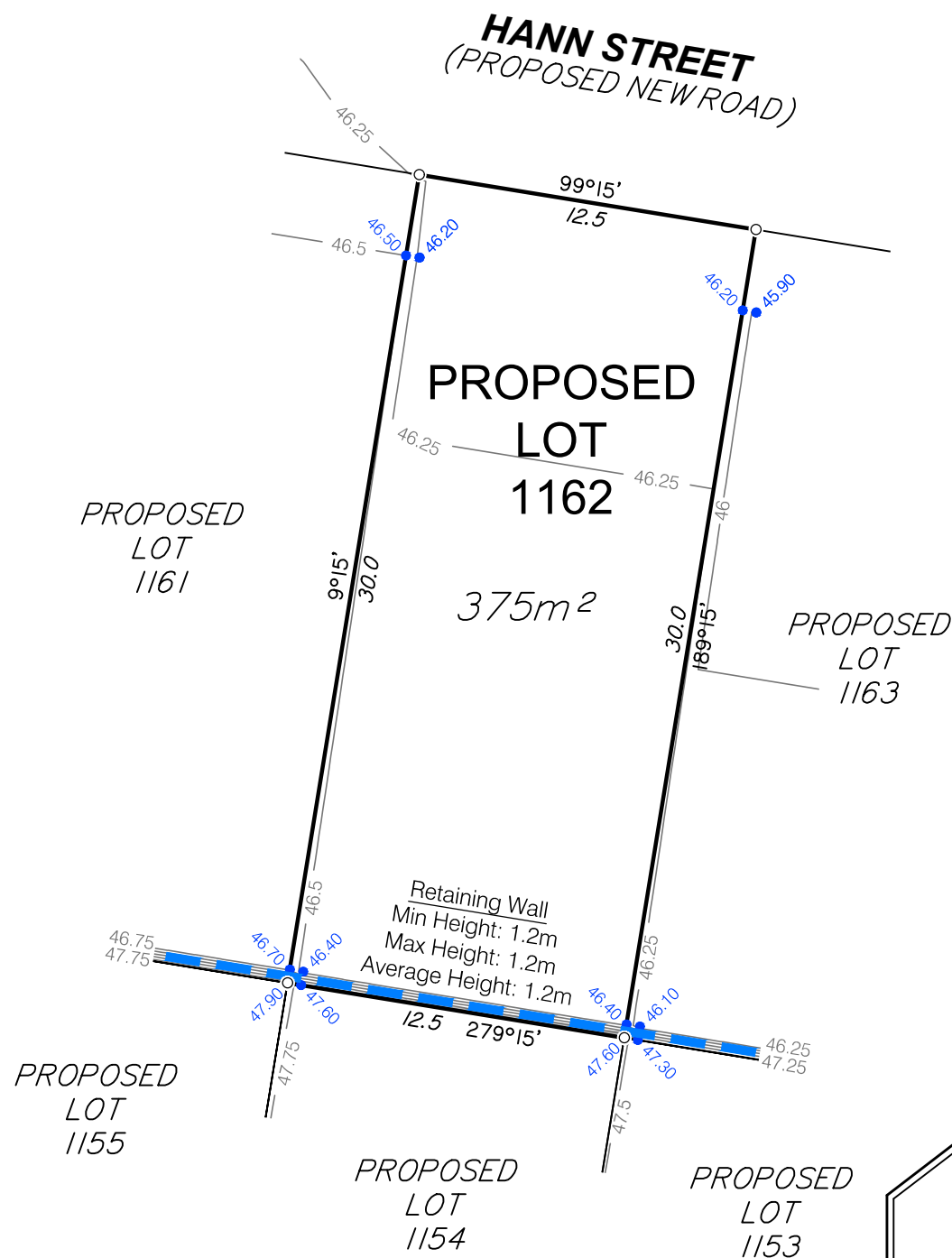
p: (07) 3842 1000
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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 065 - 1



This plan shows:

Details of Proposed Lot 1162 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m,
shown as: —48.25—

Retaining Walls are shown as:

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as:

Fill ranges in depth from 0.0m to 0.5m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m,
shown as: - . - 0.25 - . -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

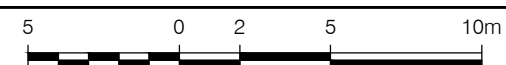
PEBBLE CREEK STAGE 11

Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RGA	DATE	18/07/2024

UDN
BRSS7455 - 011 - 066 - 1

Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

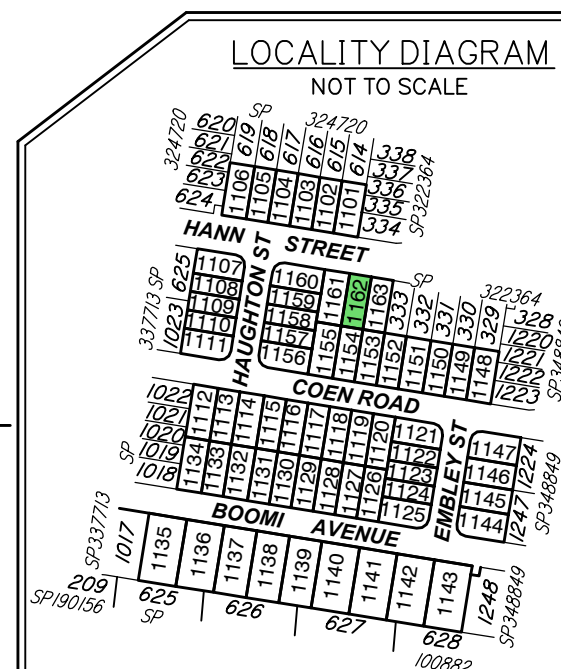
Finished Surface Levels (FSL):

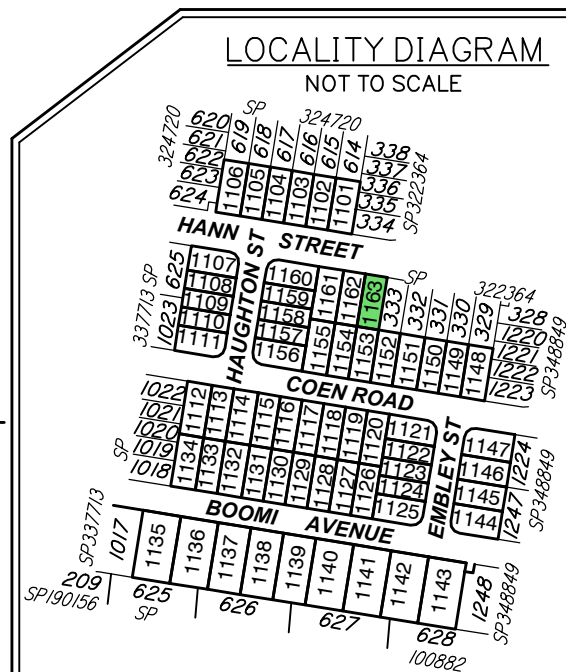
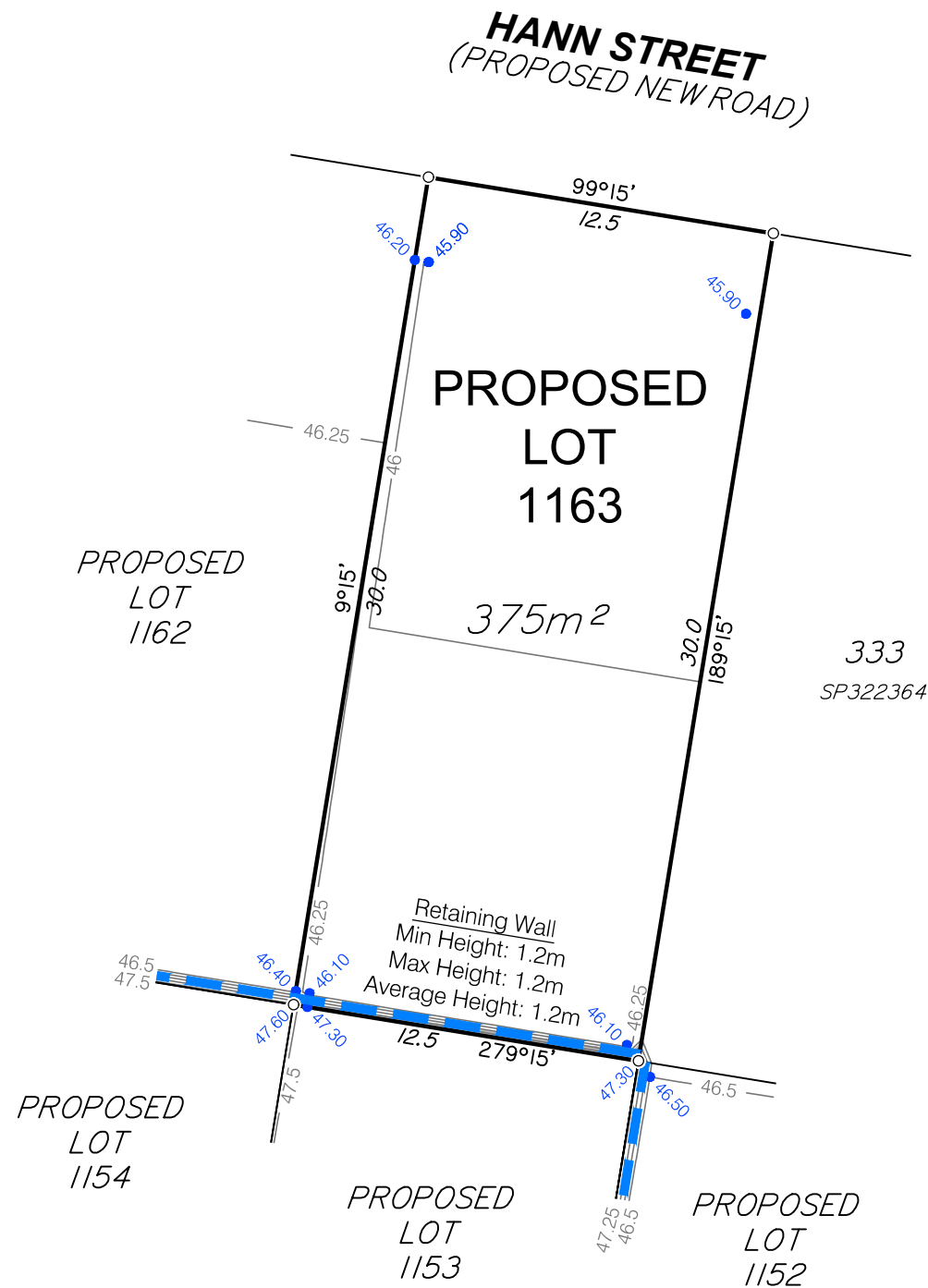
- 36.80

Easements are shown as:

NOTE:

NOTE: This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.





DISCLOSURE PLAN FOR PROPOSED LOT 1163

This plan shows:

Details of Proposed Lot 1163 on the Approved Staging Plan 9282 P 02 Rev W STG 12 which accompanied a Request to Change the PDA Development Approval with respect to land described as Lot 6 on RP193185 and Lot 9 on SP203507 at 230 Mountain Ridge Road and 54 Rose Almond Street, South Maclean. The Request to Change the PDA Development Approval was approved by Economic Development Queensland (EDQ) on 8 August 2023 (EDQ Reference: DEV2017/887/76).

This Disclosure Plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed lots. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Design surface contours based on A.H.D datum at an interval of 0.25m, shown as: — 48.25 —

Retaining Walls are shown as: — — — — —

The locations of the retaining walls shown are indicative from design and not drawn to scale.

Area of Fill shown as: — — — — —

Fill ranges in depth from 0.0m to 1.1m.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Depth of fill contours at an interval of 0.25m, shown as: - - - 0.25 - - -

Areas and dimensions shown on this plan are subject to registration with the Department of Resources.

Design surface contours, fill areas and depth of fill values and retaining wall heights shown hereon have been plotted from data supplied by Colliers on 10th of July 2024.

Project:

**PEBBLE CREEK
STAGE 11**

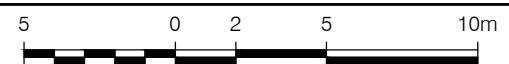
Client:

**ORCHARD (PEBBLE CREEK)
DEVELOPMENTS PTY LTD**



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w: www.landpartners.com.au



SCALE 1:250 @ A3

LEVEL DATUM	AHD		
LEVEL ORIGIN	PSM165225 RL38.006		
COMPUTER FILE	BRSS7455-011-4-1		
SCALE	1:250 (A3)		
DRAWN	KDM	DATE	18/07/2024
CHECKED	MEA	DATE	18/07/2024
APPROVED	RG A	DATE	18/07/2024

UDN
BRSS7455 - 011 - 067 - 1

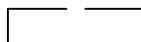
Items included in this section are in addition to standard Disclosure Plan requirements (as defined in the Land Sales Act 1984)

Where applicable,

Finished Surface Levels (FSL):

• 36.80

Easements are shown as:



NOTE:

This additional information is indicative only, has been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction.